



ABN 68 300 116 092

PLANNING APPLICATION FORM

Section 57 & 58

OFFICE USE ONLY

| | | |
|----------------------------------|-------------------------------|----------------------------|
| Application Number: DA 2024 / 24 | | Date: 03.04.2024 |
| PID: 9026131 | Zone: Low Density Residential | Permitted or Discretionary |

DEVELOPMENT APPLICATION DETAILS

| | | | |
|---|--|--|--|
| Applicant Name: | The Shed Company Launceston | | |
| Location/Address: | 2 Moana Ave Low Head Tas 7253 | | |
| Title Reference: | 180384/ 36 | | |
| Existing Development/Use: (describe the way the land is used now) | vacant land | | |
| Development Type: | New dwelling <input checked="" type="checkbox"/> Outbuilding <input type="checkbox"/> Addition/extension <input type="checkbox"/> Fencing <input type="checkbox"/> Demolition <input type="checkbox"/> Signage <input type="checkbox"/> Subdivision <input type="checkbox"/> Change of use <input type="checkbox"/> Other <input type="checkbox"/> | | |
| Description/Use: | Residential dwelling | | |
| New floor area: | 144 m ² | Total floor area: | 144 m ² New building height: 4.81 m |
| Water Supply: | TasWater <input type="checkbox"/> Tank <input type="checkbox"/> | Wastewater: | TasWater <input checked="" type="checkbox"/> On-Site Wastewater System <input checked="" type="checkbox"/> |
| Driveway/Vehicle Crossover: | Existing <input checked="" type="checkbox"/> Proposed <input type="checkbox"/> Alteration Required <input type="checkbox"/> <i>Contact Council's engineering department for details on crossover construction</i> | | |
| Does the application include Crown Land or access via a Crown Access License? | Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> | If 'yes', please provide Crown consent to lodge the planning application in accordance with section 52 (1B) of the Land Use Planning and Approvals Act 1993. | |

SUBDIVISION

N/A

| | | | |
|----------------|--|--------------------------------|--|
| Existing Lots: | | Number of total lots proposed: | |
|----------------|--|--------------------------------|--|

COMMERCIAL/INDUSTRIAL

N/A

| | | | |
|---|--|--|----|
| Existing business and/or proposed business description: | | | |
| Hours of Operation: | Weekdays (Mon – Fri) | | To |
| | Saturday | | To |
| | Sunday | | To |
| Signage: | Yes <input type="checkbox"/> No <input type="checkbox"/> | If 'yes', please provide details with application. | |
| Existing no. of employees: | | No. of employees (proposed): | |
| Parking spaces (existing) | | Parking spaces (proposed) | |



Ray Heald

p: [03 9002 4272](tel:0390024272) m: [0459 304 444](tel:0459304444)

a: 195A Invermay Rd. Launceston. TAS 7248

e: ray.heald@theshedcompany.com.au

To whom it may concern ,

23/03/2024

Please find attached site plan , elevation plan for prefabricated kit shed and dwelling of 59m² , build site requires a small 200mm cut and fill , no trees or vegetation to be removed. stormwater to tank.

Please don't hesitate to contact if you require more information to make your assessment.

Regards,

Ray Heald

The Shed Company- Launceston

GENERAL PROJECT NOTES

CHECK CAREFULLY ALL ASPECTS OF THESE DOCUMENTS BEFORE COMMENCING WORK

ANY ERRORS OR ANOMALIES TO BE REPORTED TO THE DRAWER BEFORE WORK IS CONTINUED

CONFIRM ALL SIZES AND HEIGHTS ON SITE DO NOT SCALE OFF PLAN

ALL CONSTRUCTION IS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA AND ALL RELEVANT AUSTRALIAN STANDARDS CONSTRUCTION STANDARDS

ALL WORKS SHOULD BE GENERALLY IN LINE WITH THE PRACTICES SET OUT IN THE 'GUIDE TO STANDARDS AND TOLERANCES 2007'

WIND LOADS DETERMINED IN ACCORDANCE WITH AS 4055 - WIND LOADS FOR HOUSING

THESE DOCUMENTS TO BE USED WITH ALL DOCUMENTATION PREPARED BY AN ENGINEER

THESE DOCUMENTS ARE INTENDED FOR COUNCIL APPLICATIONS AND NORMAL CONSTRUCTION, THEY ARE NOT TO BE USED FOR TENDERING PURPOSES OR INSPECTIONS

THIS DESIGN IS COVERED UNDER COPYRIGHT AND ANY CHANGES MUST BE CONFIRMED BY "CREEK TO COAST DESIGNS" THE DRAWER RETAINS ALL "INTELLECTUAL PROPERTY"

REQUIREMENTS OF SCHEDULE 1

DESIGNER : D. Cooper #300139920
PROJECT ADDRESS : Lot 36 #2 Moana Rd, Low Head, TAS 7253
CLIENT NAME : Stuart Way
TITLE REF : 180384
FLOOR AREA : 96m²
DESIGN WIND SPEED : N2
SOIL CLASSIFICATION : H1
CLIMATE ZONE : 7
BAL LEVEL : TBA.
ALPINE AREA : N/A
CORROSION ENVIRONMENT : N/A
KNOWN SITE HAZARDS : NONE

INDEX OF APPLICATION SET:

ARCHITECTURAL DRAWINGS - PAGE 01 - 08
ENGINEERING DRAWINGS - NO SPECIFICATIONS - NO
ADDITIONAL PAGES - FORM 35.

| LIST OF SHEETS | |
|----------------|------------------|
| NO. | SHEET NAME |
| 1 | TITLE SHEET |
| 2 | SITE PLAN |
| 3 | FLOOR PLAN |
| 4 | ELEVATIONS A & B |
| 5 | ELEVATIONS C & D |
| 6 | ELECTRICAL PLAN |
| 7 | SECTION |
| 8 | DETAILS |

PROPOSED PROJECT for Stuart Way Lot 36 #2 Moana Rd, Low Head, TAS 7253

| REV: | AMENDMENT: | INI: | DATE: |
|------|----------------------|------|----------|
| 1 | Ini. Prelim Design | DC | 13.03.24 |
| 2 | Size Adjusted | DC | 14.03.24 |
| 3 | Construction Plans | DC | 18.03.24 |
| 4 | Tank & Shower Update | DC | 22.03.24 |
| 5 | Street Name Amended | DC | 02.04.24 |



USE FIGURED DIMENSIONS. DO NOT SCALE FROM THE DRAWINGS. CONFIRM ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION OR FABRICATION. IT REMAINS THE CONTRACTORS RESPONSIBILITY TO ENSURE COMPLIANCE WITH ALL RELEVANT CODES AND REGULATIONS IS MAINTAINED AT ALL TIMES.

PROJECT for Stuart Way

Lot 36 #2 Moana Rd, Low Head, TAS 7253

TITLE SHEET

DATE: 2/04/2024
CONSTRUCTION
JOB NUMBER: 7052
SHEET NUMBER: 1 of 8

REVISION: **5**

LOT NUMBER: 36
PLAN NO: 180384
SITE AREA: 1,024m²
DESIGN BASE: Custom
LOCAL AUTHORITY: George Town

NOTE:- These plans are copyright in whole & in part to Creek to Coast Designs & may not be used or reproduced without written permission

NOTES

THESE PLANS HAVE BEEN PREPARED ALONGSIDE INFORMATION AND DIMENSIONS FROM BOTH THE DIRECT CLIENT, TheList AND ONLINE INFORMATION. ALL ASPECTS OF THE DRAWING SHOULD BE CHECKED THOROUGHLY BEFORE COMMENCEMENT OF WORK. IF IN DOUBT SEEK ADVICE FROM CREEK TO COAST DESIGNS.

SET OUT NOTES

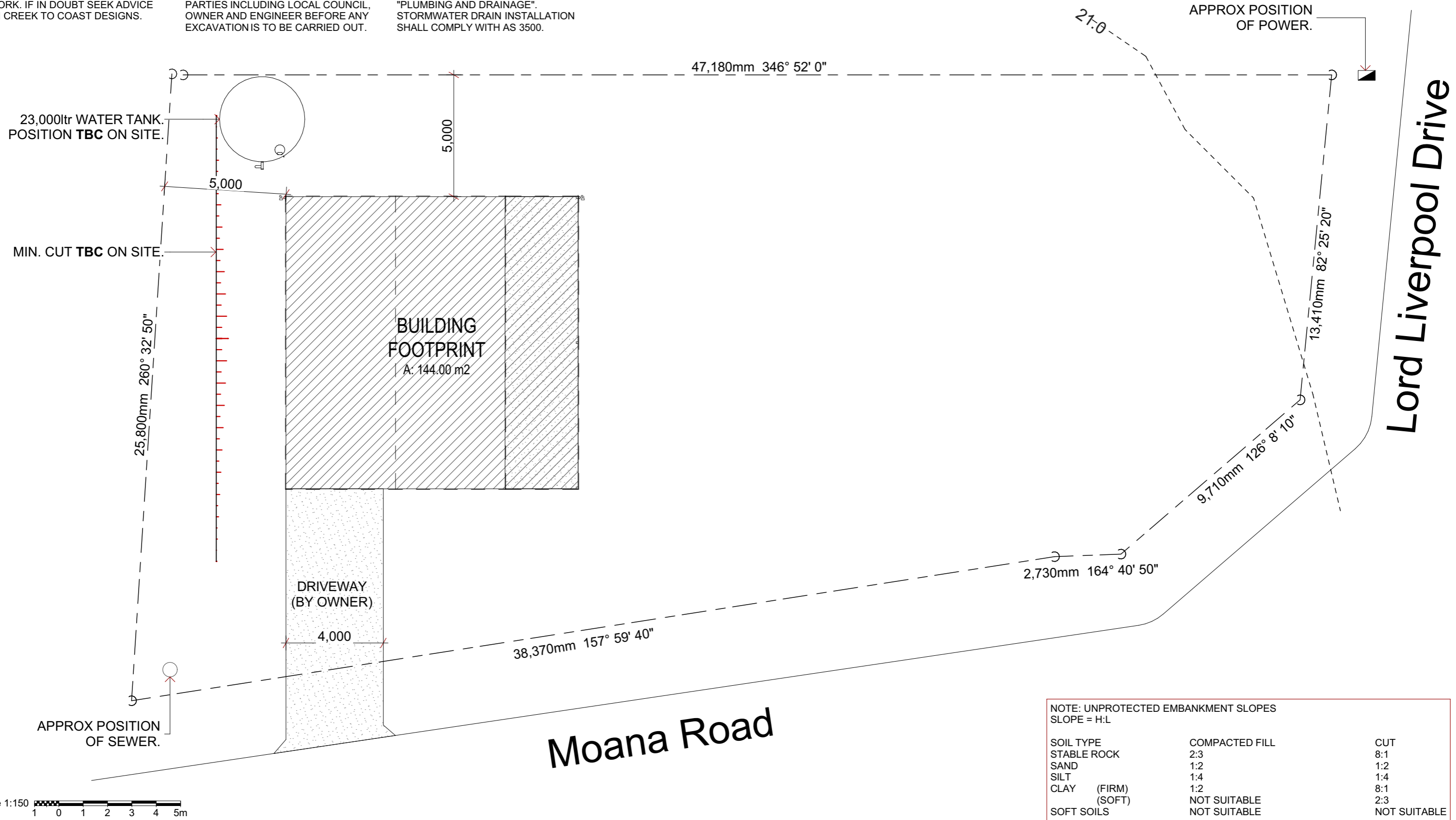
THE BUILDER IS TO SET OUT THE WORKS IN CONJUNCTION WITH THE ACCOMPANYING PLANS. THE FINAL POSITION IS TO BE CONFIRMED BY THE CLIENT AS TO BEING CORRECT. ALL DIMENSIONS HEIGHTS AND LEVELS ARE TO BE CONFIRMED ON SITE BY ALL PARTIES INCLUDING LOCAL COUNCIL, OWNER AND ENGINEER BEFORE ANY EXCAVATION IS TO BE CARRIED OUT.

PLUMBING NOTES

ALL PLUMBING WORK BOTH WASTE AND WATER TO COMPLY WITH CURRENT BCA AND AS 3500 WITH ALL LOCAL COUNCIL REQUIREMENTS SATISFIED. ALL DRAINS ARE TO BE 100mm PVC SEWER PIPE SET IN 12mm BLUEMETAL WITH A MINIMUM DEPTH OF 500mm ALL AS PER AS 3500 "PLUMBING AND DRAINAGE". STORMWATER DRAIN INSTALLATION SHALL COMPLY WITH AS 3500.

NOTE:
SHED POSITION TBC.
ON SITE BY BUILDER

NOTE:
SHED RL TBC. ON SITE
BY BUILDER



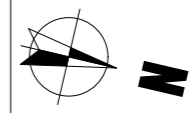
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PROJECT
for Stuart Way
Lot 36 #2 Moana Rd, Low Head, TAS 7253

SITE PLAN
DATE: 2/04/2024
CONSTRUCTION
JOB NUMBER: 7052
SHEET NUMBER: 2 of 8



LOT NUMBER: 36
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NOTE: UNPROTECTED EMBANKMENT SLOPES
SLOPE = H:L

| SOIL TYPE | COMPACTED FILL | CUT |
|-------------|----------------|--------------|
| STABLE ROCK | 2:3 | 8:1 |
| SAND | 1:2 | 1:2 |
| SILT | 1:4 | 1:4 |
| CLAY (FIRM) | 1:2 | 8:1 |
| (SOFT) | NOT SUITABLE | 2:3 |
| SOFT SOILS | NOT SUITABLE | NOT SUITABLE |

GENERAL FLOOR PLAN NOTES

ALL SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH NCC VOL2, PART 9.5 SMOKE ALARMS, H3D6 AND AS3786-2023, SMOKE ALARMS AND STATE & TERRITORY LEGISLATIONS.

WALL SARKING MATERIAL TO COMPLY WITH AS4200.1 AND NCC VOLUME 2 PART 10.8.1 AND H4D9. BE INSTALLED IN ACCORDANCE WITH AS4200.2.

ALL MECHANICAL VENTILATION DUCTED TO EXTERNAL IN ACCORDANCE AS1668.2 AND NCC VOLUME 2. H4P5 VENTILATION. RATE NOT LESS THAN 25L/s FOR BATHROOMS AND 50L/s FOR RANGEHOODS.

STORMWATER PIPES SHALL BE CONNECTED TO EXISTING FACILITIES OR KERB AND CHANNEL BY USE OF A SUITABLE PVC ADAPTOR.

WET AREAS MUST BE WATERPROOFED IN ACCORDANCE WITH AS3740-2021 AND NCC VOLUME 2 PART 3.8.1.2.

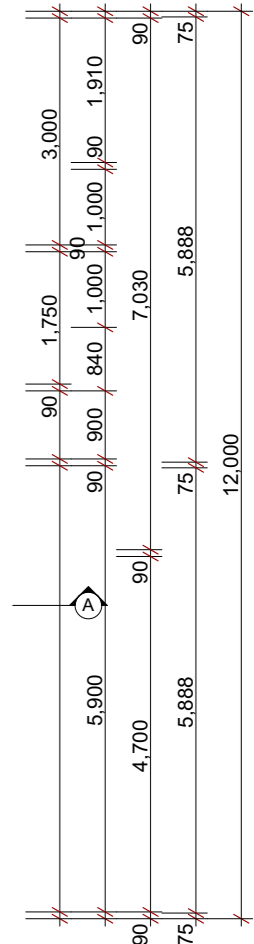
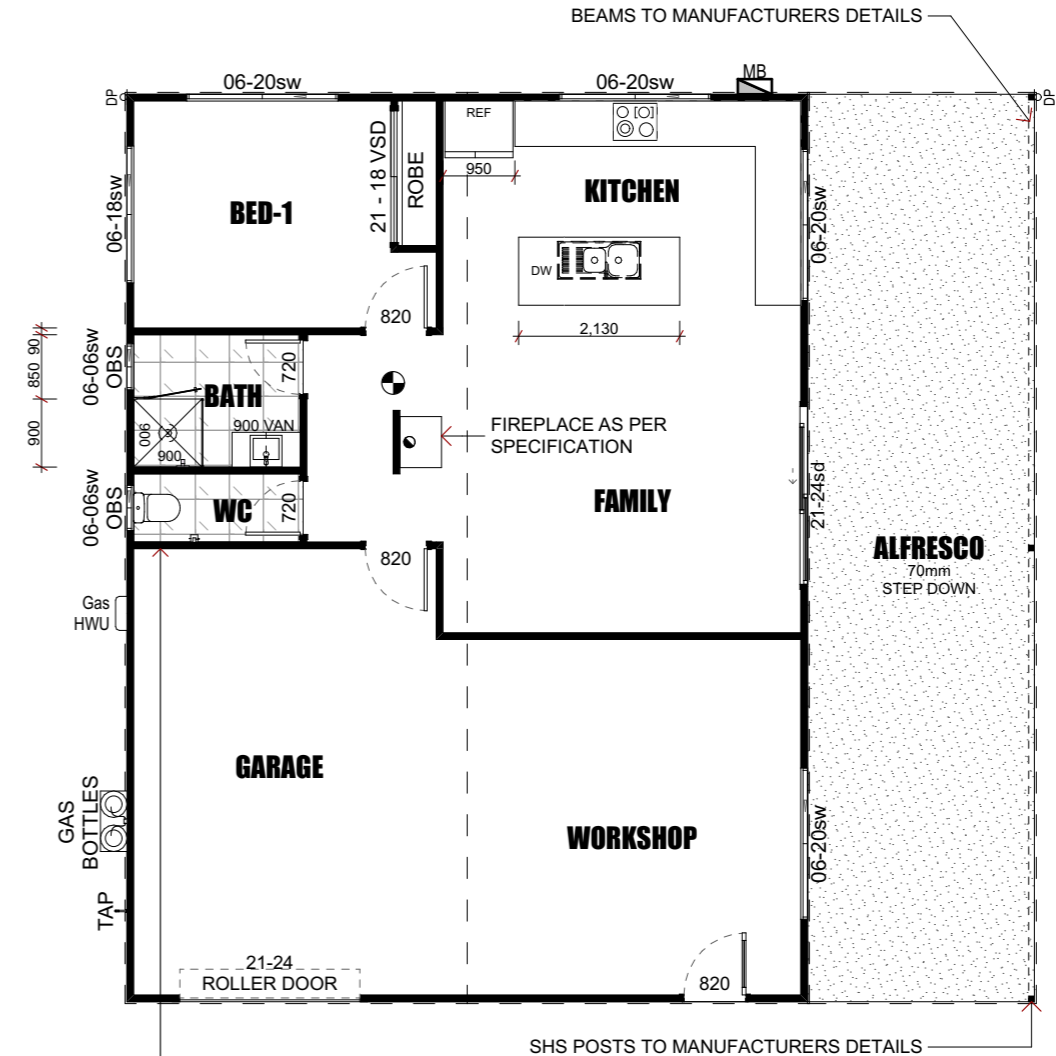
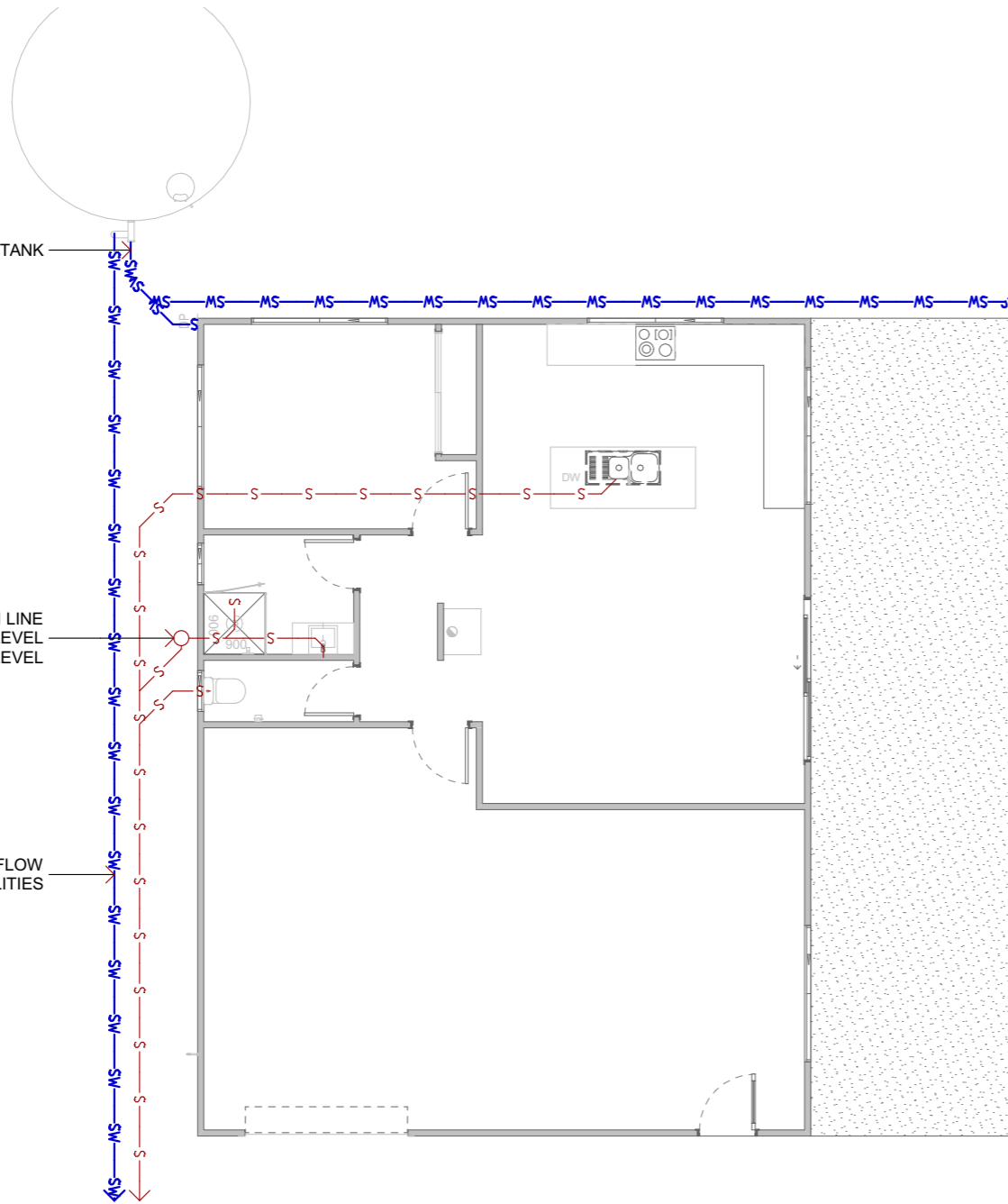
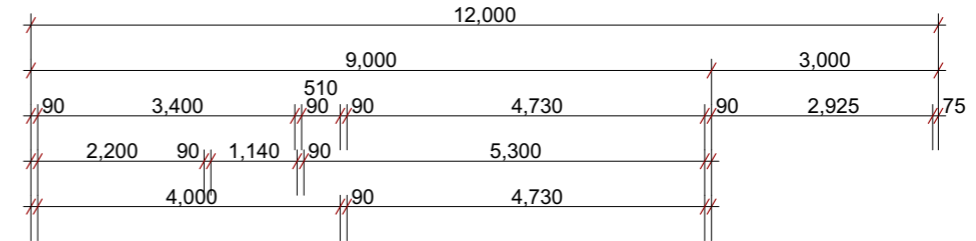
WC DOORS ARE TO BE PROVIDED WITH LIFT OFF HINGES IN ACCORDANCE WITH NCC VOLUME 2 PART 10.4.2.

REFER TO ENGINEERING DRAWINGS FOR STRUCTURAL DESIGN, FOOTING, SLAB, TRUSS, SET DOWNS, TIE DOWN, BRACING, RETAINING WALLS AND ALL STRUCTURAL DETAILS.

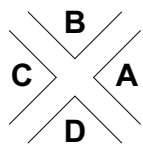
ADDITIONAL DUCTS, VOIDS & BULKHEADS MAY BE REQUIRED FOR SERVICES.

NOTE
R2.5 INSULATION TO EXTERNAL & INTERNAL WALLS
R5.0 INSULATION TO CEILINGS

| AREA | |
|-----------------|-----------------------|
| LIVING | 59.98 |
| GARAGE/WORKSHOP | 48.02 |
| ALFRESCO | 36.00 |
| | 144.00 m ² |



ELEVATIONS



90 x 35 MGP10 FRAMING. STUDS @ 450crs. MAXIMUM.
NOGGINGS @ 1350crs. MAXIMUM. 2/90 x 35 MGP10 PLATES (USE TTPINE BOTTOM PLATE) TO LOAD BEARING WALLS.
9mm VILLA-BOARD INTERNAL LINING. IF CEILING IS FITTED USE 90 x 35 MGP10 CEILING JOISTS AT 450 CENTRES TO SHORT SPAN

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PROJECT for Stuart Way

Lot 36 #2 Moana Rd, Low Head, TAS 7253

FLOOR PLAN

DATE: 2/04/2024
CONSTRUCTION
JOB NUMBER: 7052
SHEET NUMBER: 3 of 8

REVISION: 5



LOT NUMBER: 36
PLAN NO: 180384
SITE AREA: 1,024m²
DESIGN BASE: Custom
LOCAL AUTHORITY: George Town

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GENERAL ELEVATION NOTES

ALL GLASS & GLAZING MUST COMPLY WITH AS1288-2021, AS2047-2014 & NCC VOLUME 2 PART'S 8.3 AND 8.4 AND H1D8. GLASS IN BUILDINGS - SELECTION AND INSTALLATION.

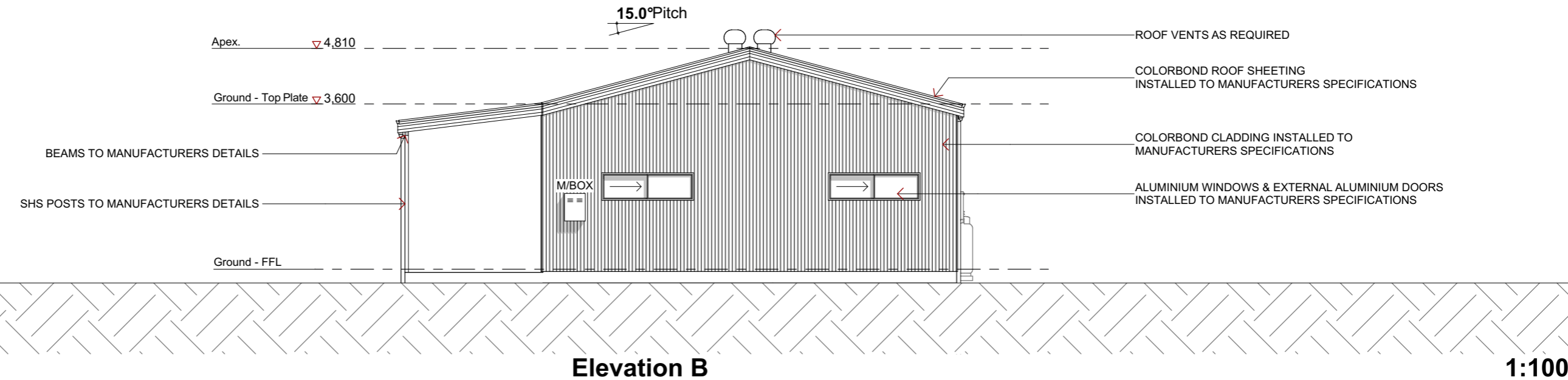
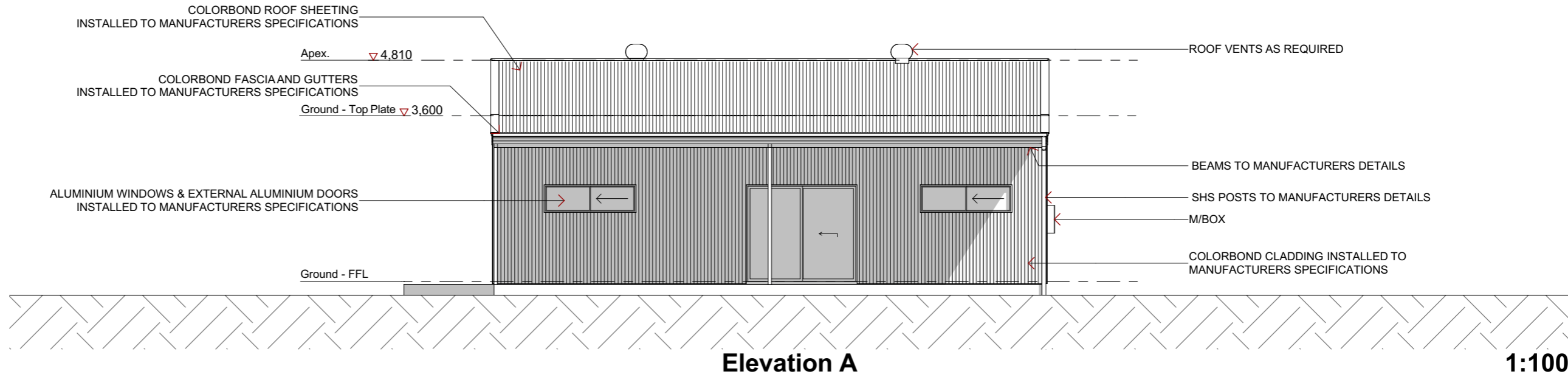
ALL STAIRS TO BE IN ACCORDANCE WITH NCC VOLUME 2, PART 11.2.

BALUSTRADE TO BE MINIMUM 1000MM ABOVE FFL WITH NO OPENINGS GREATER THAN 124MM IN ACCORDANCE WITH NCC VOL2, PART 11.3.

40mm ALLOWANCE TO CEILING HEIGHT FOR CEILING BATTENS & PLASTERBOARD.

JAMES HARDIES VERSILUX™ CEILING WITH 18x18 PERIMETER BEAD PROVIDED TO EXTERNAL CEILINGS (ALFRESCO & PORCH ONLY, UNO).

UPPER FLOOR WINDOWS TO COMPLY WITH REQUIREMENTS OF NCC VOLUME 2, PART 11.3.7, 11.3.8 INCLUDING WINDOWS MARKED 'RESTRICT', 'SCREEN' OR 'LOCK'



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PROJECT
for Stuart Way

Lot 36 #2 Moana Rd, Low Head, TAS 7253

ELEVATIONS A & B

DATE: 2/04/2024
CONSTRUCTION
JOB NUMBER: 7052
SHEET NUMBER: 4 of 8

REVISION: **5**

LOT NUMBER: 36
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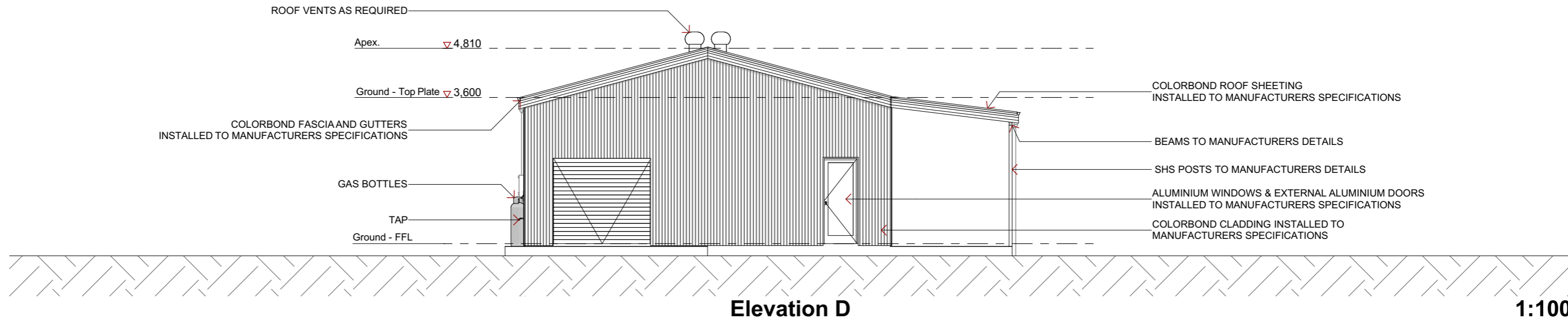
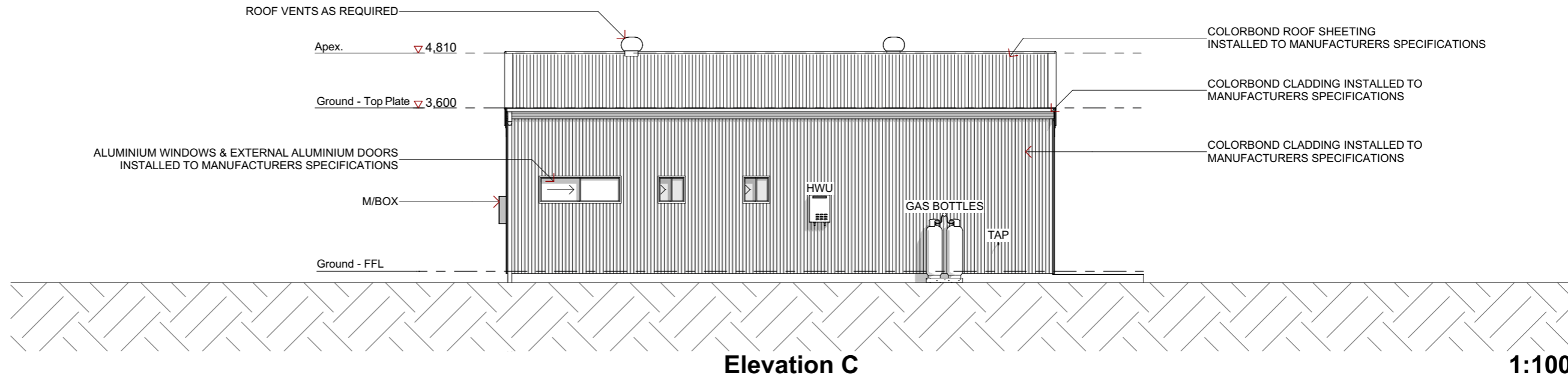
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PROJECT
for Stuart Way

Lot 36 #2 Moana Rd, Low Head, TAS 7253

ELEVATIONS C & D

DATE: 2/04/2024
CONSTRUCTION
JOB NUMBER: 7052
SHEET NUMBER: 5 of 8

REVISION: **5**

LOT NUMBER: 36
PLAN NO: 180384
SITE AREA: 1,024m²
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GENERAL ELECTRICAL NOTES

ALL POWER OUTLETS OTHER THAN THE FOLLOWING TO BE 300 ABOVE FL (UNO)

| | |
|----------------------|------|
| KITCHEN BENCH | 1000 |
| RANGE HOOD (RH) | 1800 |
| MICROWAVE (MW) | 600 |
| REFRIGERATOR (REF) | 1500 |
| DISWASHER (DW) | 300 |
| WASHING MACHINE (WM) | 1500 |
| LAUNDRY BENCH | 1000 |
| VANITIES | 1000 |

LIGHT SWITCHES AT 1300 ABOVE FL WALL MOUNTED LIGHTS (WHERE APPLICABLE) AT 2000 ABOVE FL

HOT WATER UNIT, HOTPLATES & OVEN TO HAVE A SINGLE PHASE PERMANENT CONNECTION & AN ISOLATOR

ENERGY EFFICIENT LIGHTING ALL LIGHTING TO COMPLY WITH NCC VOLUME 2 PART AND H4P4; STATE AND TERRITORY VARIATIONS. IT IS THE OWNER'S RESPONSIBILITY TO CONFIRM THAT THEIR LIGHTING SELECTIONS COMPLY WITH THIS REQUIREMENT

ALL SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH NCC VOL2, PART 9.5 SMOKE ALARMS, H3D6 AND AS3786-2023, SMOKE ALARMS AND STATE & TERRITORY LEGISLATIONS.

| Electrical | | |
|------------|--------------------------|-----|
| 2D Symbol | Description | Qty |
| | DOWNLIGHT | 11 |
| | GPO DOUBLE | 8 |
| | GPO SINGLE | 4 |
| | GPO SINGLE WEATHER PROOF | 1 |
| | LIGHT SWITCH - DOUBLE | 1 |
| | LIGHT SWITCH - SINGLE | 6 |
| | PHONE POINT | 1 |
| | SMOKE DETECTOR | 1 |
| | TV POINT | 1 |

Scale 1:100

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PROJECT for Stuart Way

Lot 36 #2 Moana Rd, Low Head, TAS 7253

ELECTRICAL PLAN

DATE: 2/04/2024
CONSTRUCTION REVISION: 5
 JOB NUMBER: 7052
 SHEET NUMBER: 6 of 8



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Lighting

Class 1 & 10a buildings

Building name/description
Lot 36 #2 Moana Rd, Low Head, TAS 7253

Classification
Class 1

Number of rows preferred in table below 7 (as currently displayed)

Separate aggregate allowances are calculated for Class 1 cases; for a verandah or balcony; or for a Class 10 building. The % of allowance used' outcomes refer to these aggregate allowances.

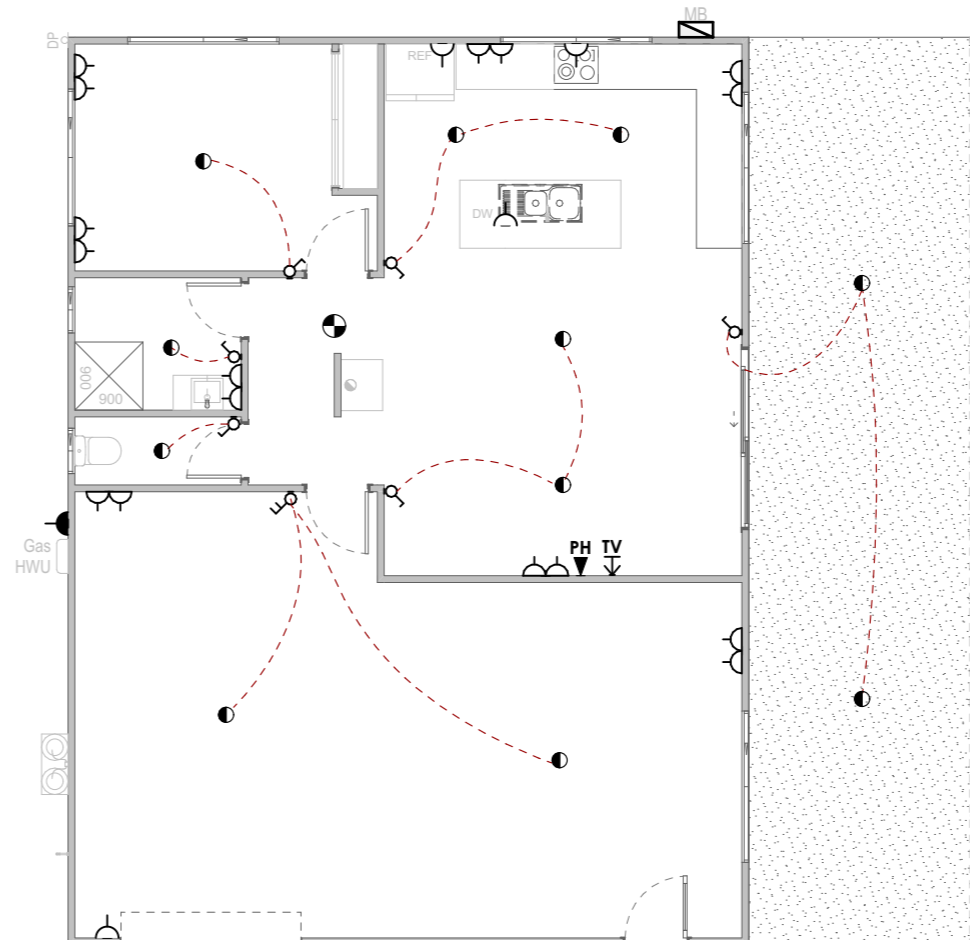
| ID | Description | Type of space | Floor area of the space | Design lamp or illumination power load | Location | Adjustment factor | | | | SATISFIES PART 13.7.6 | | |
|----|-------------|---------------------|-------------------------|--|---------------------|--------------------|----------------|-------------------------|----------------------------------|------------------------------------|---|---------------|
| | | | | | | Adjustment factors | Dimming % area | Dimming % of full power | Design lumen depreciation factor | Lamp or illumination power density | System share of % of aggregate allowance used | System design |
| 1 | Garage | Other | 23.6 m ² | 10 W | Class 1 building | | | | | 5.0 W/m ² | 0.4 W/m ² | 7% of 12% |
| 2 | Workshop | Other | 22.6 m ² | 10 W | Class 1 building | | | | | 5.0 W/m ² | 0.4 W/m ² | 7% of 12% |
| 3 | Family | Lounge room | 21.9 m ² | 10 W | Class 1 building | | | | | 5.0 W/m ² | 0.5 W/m ² | 9% of 12% |
| 4 | Kitchen | Kitchen | 12.7 m ² | 10 W | Class 1 building | | | | | 5.0 W/m ² | 0.8 W/m ² | 14% of 12% |
| 5 | Bed-1 | Bedroom | 11.4 m ² | 10 W | Class 1 building | | | | | 5.0 W/m ² | 0.9 W/m ² | 16% of 12% |
| 6 | Bath | Bathroom | 3.6 m ² | 10 W | Class 1 building | | | | | 5.0 W/m ² | 2.8 W/m ² | 48% of 12% |
| 7 | Alfresco | Verandah or balcony | 36.0 m ² | 10 W | Verandah or balcony | | | | | 4.0 W/m ² | 0.3 W/m ² | 100% of 8% |

131.8 m² 70 W

Class 1 building
5.0 W/m² 0.6 W/m²

Verandah or balcony
4.0 W/m² 0.3 W/m²

if inputs are valid



GENERAL SECTION NOTES

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ALL STAIRS TO BE IN ACCORDANCE WITH NCC VOLUME 2, PART 11.2.

BALUSTRADE TO BE MINIMUM 1000MM ABOVE FFL WITH NO OPENINGS GREATER THAN 124MM IN ACCORDANCE WITH NCC VOL2, PART 11.3.

UPPER FLOOR WINDOWS TO COMPLY WITH REQUIREMENTS OF NCC VOLUME 2, PART 11.3.7, 11.3.8 INCLUDING WINDOWS MARKED 'RESTRICT', 'SCREEN' OR 'LOCK'

STEPDOWNS TO COMPLY WITH NCC VOLUME 2, PART H1D3.

ALL SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH NCC VOL2, PART 9.5 SMOKE ALARMS, H3D6 AND AS3786-2023, SMOKE ALARMS AND STATE & TERRITORY LEGISLATIONS.

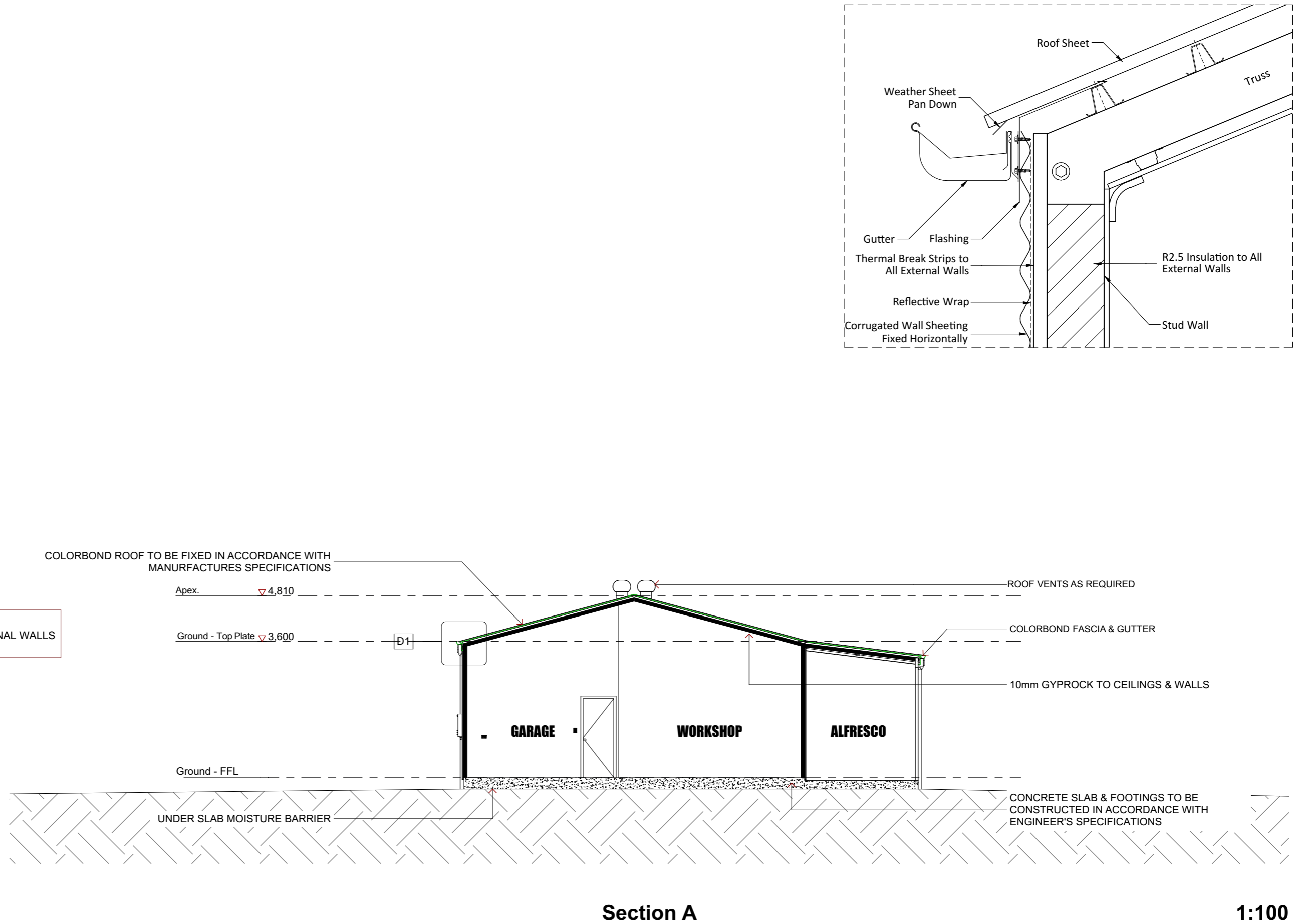
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WC DOORS ARE TO BE PROVIDED WITH LIFT OFF HINGES IN ACCORDANCE WITH NCC VOLUME 2 PART 10.4.2.

REFER TO ENGINEERING DRAWINGS FOR STRUCTURAL DESIGN, FOOTING, SLAB, TRUSS, SET DOWNS, TIE DOWN, BRACING, RETAINING WALLS AND ALL STRUCTURAL DETAILS.

FRAME - 90mm INTERNAL UNO
 FRAME - 90mm EXTERNAL UNO
 BRICK VENEER FRAME - 90mm UNO

NOTE
 R2.5 INSULATION TO EXTERNAL & INTERNAL WALLS
 R5.0 INSULATION TO CEILINGS



| REV: AMENDMENT: | INI: | DATE: |
|-----------------|----------------------|-------------|
| 1 | Ini. Prelim Design | DC 13.03.24 |
| 2 | Size Adjusted | DC 14.03.24 |
| 3 | Construction Plans | DC 18.03.24 |
| 4 | Tank & Shower Update | DC 22.03.24 |
| 5 | Street Name Amended | DC 02.04.24 |



USE FIGURED DIMENSIONS. DO NOT SCALE FROM THE DRAWINGS. CONFIRM ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION OR FABRICATION. IT REMAINS THE CONTRACTORS RESPONSIBILITY TO ENSURE COMPLIANCE WITH ALL RELEVANT CODES AND REGULATIONS IS MAINTAINED AT ALL TIMES.

PROJECT
 for Stuart Way

Lot 36 #2 Moana Rd, Low Head, TAS 7253

SECTION

DATE: 2/04/2024
CONSTRUCTION
 JOB NUMBER: 7052
 SHEET NUMBER: 7 of 8

REVISION: **5**

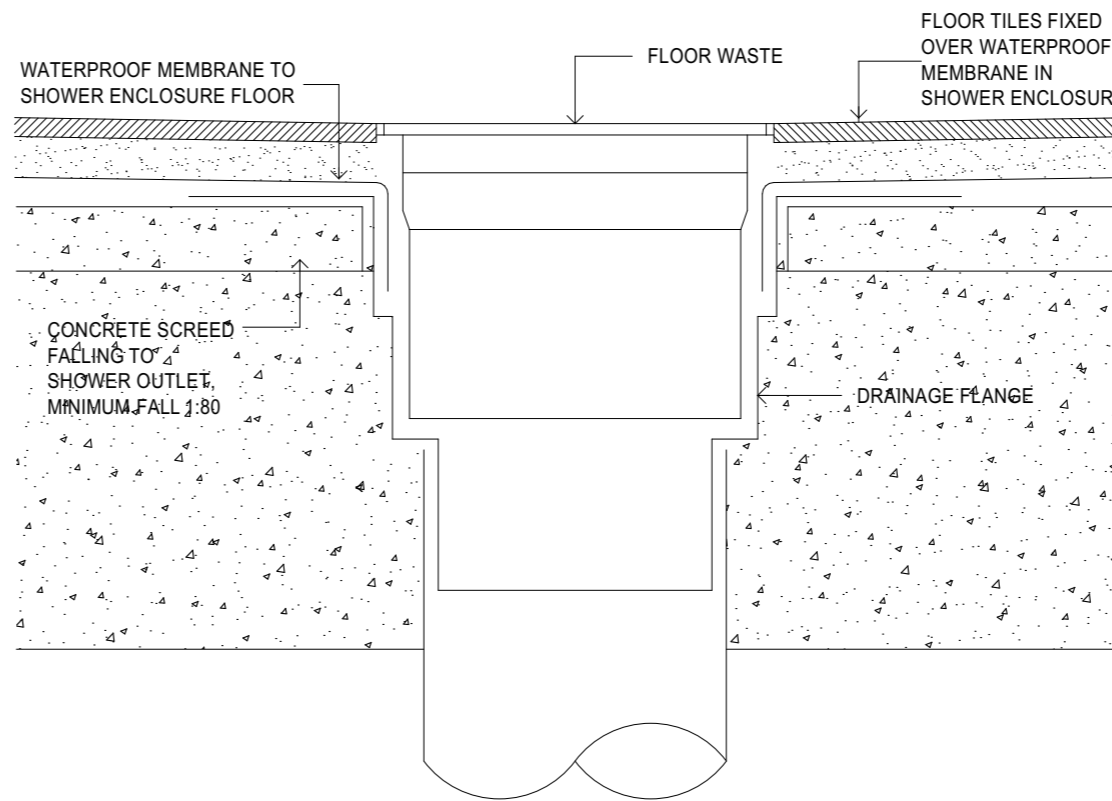
LOT NUMBER: 36
 PLAN NO: 180384 **SCALE: AS PER DWG**
 SITE AREA: 1,024m²
 DESIGN BASE: Custom
 LOCAL AUTHORITY: George Town

NOTE:- These plans are copyright in whole & in part to Creek to Coast Designs & may not be used or reproduced without written permission

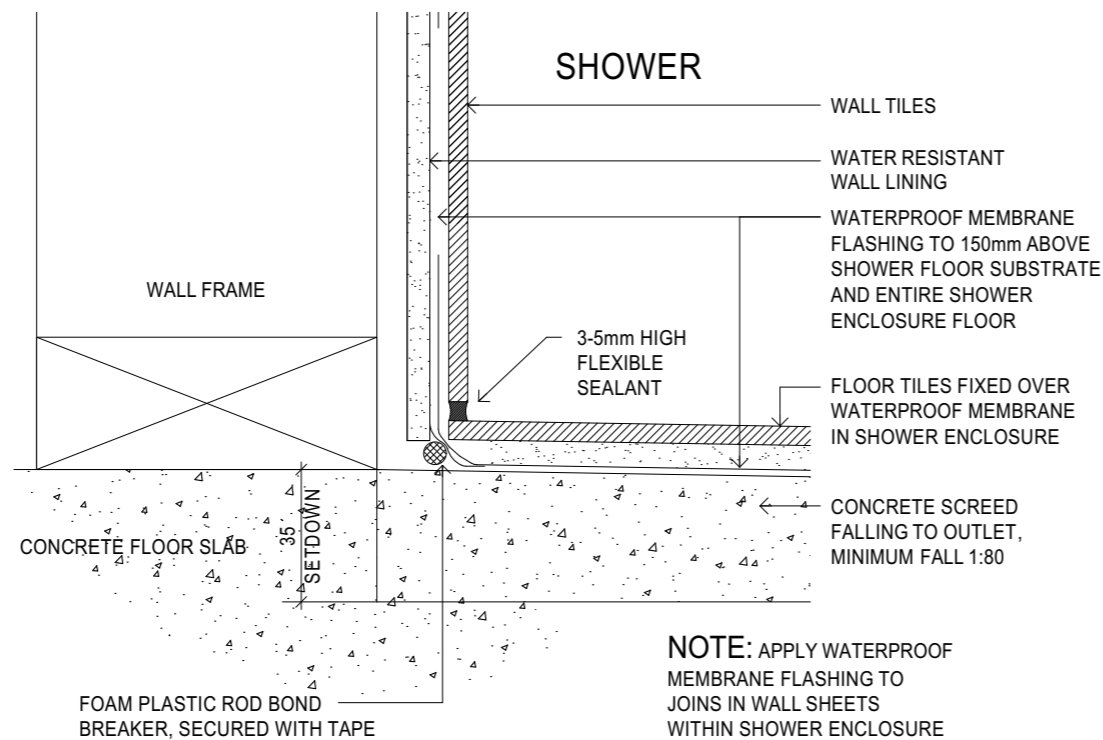
NOTES

WET AREAS MUST BE WATERPROOFED IN ACCORDANCE WITH AS3740-2021 OR NCC VOLUME 2 PART 3.8.1.2.

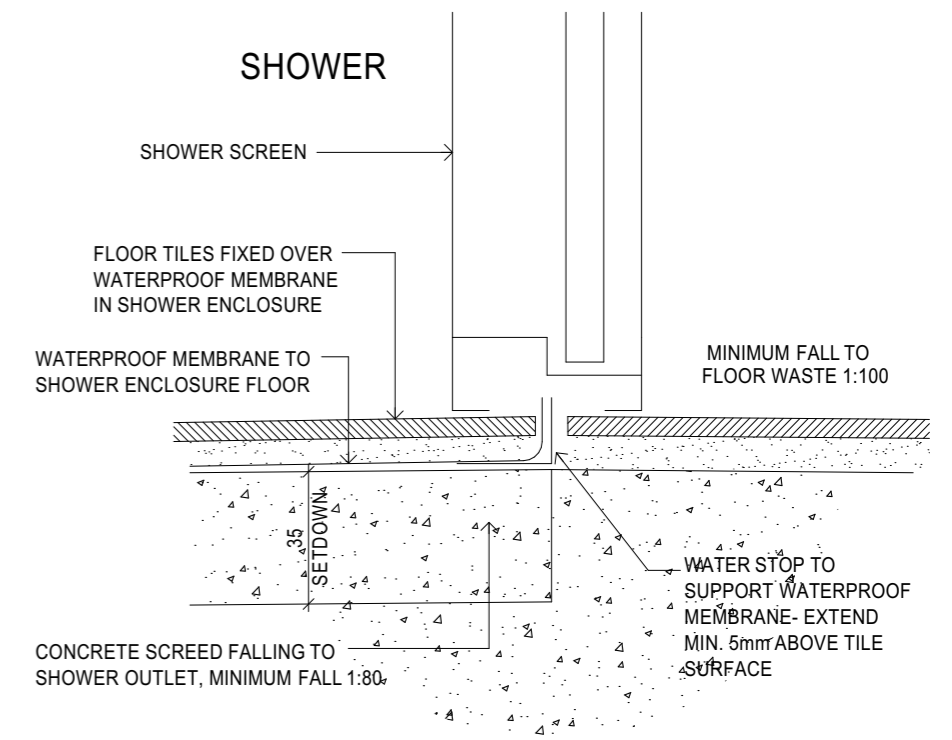
WC DOORS ARE TO BE PROVIDED WITH LIFT OFF HINGES IN ACCORDANCE WITH NCC VOLUME 2 PART 10.4.2.



1 Section Detail - Shower Screen Floor Waste



2 Section Detail - Shower Floor/Wall Junction



3 Section Detail - Shower Screen Floor Junction

| REV: | AMENDMENT: | INI: | DATE: |
|------|----------------------|------|----------|
| 1 | Ini. Prelim Design | DC | 13.03.24 |
| 2 | Size Adjusted | DC | 14.03.24 |
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PROJECT
for **Stuart Way**

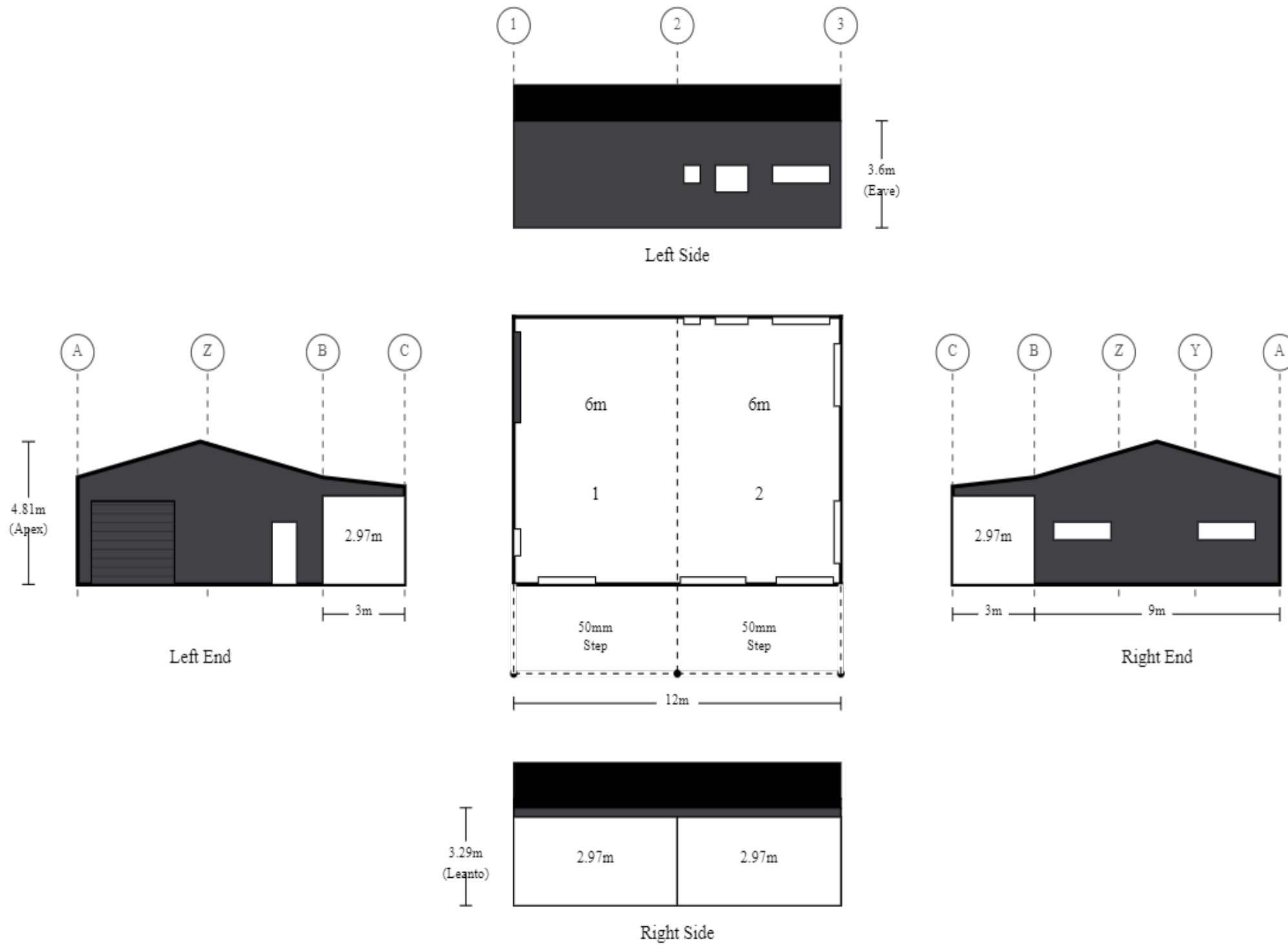
Lot 36 #2 Moana Rd, Low Head, TAS 7253

DETAILS

DATE: 2/04/2024
CONSTRUCTION REVISION: **5**
JOB NUMBER: 7052
SHEET NUMBER: 8 of 8

LOT NUMBER: 36
PLAN NO: 180384
SITE AREA: 1,024m²
DESIGN BASE: Custom
LOCAL AUTHORITY: George Town

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Purchaser Name: Stuart Way

Site Address: 2 Bellbuoy Beach Rd Low Head TAS 7253 Australia

Drawing # TLAN240013 - 0

Print Date: 12/03/24

Layout
Not to Scale
© Copyright Steelx IP Pty Ltd

Seller: The Shed Company Launceston
Heald Cafe2U Pty Ltd atf Heald Family Trust
Phone: 03 9002 4272
Fax
Email: launceston@theshedcompany.com.au

Apex Engineering Group PTY LTD
ACN 632 588 562
ME Aust. (Registered NER Structural) 5276680
QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 303557ES;
Practising Professional Structural & Civil Engineers

Signature:

John Ronaldson

Date: 12/03/24

SEARCH OF TORRENS TITLE

| | |
|------------------|------------------------------|
| VOLUME 180384 | FOLIO 36 |
| EDITION 3 | DATE OF ISSUE 13-Apr-2023 |

SEARCH DATE : 12-Mar-2024

SEARCH TIME : 09.03 PM

DESCRIPTION OF LAND

Parish of CHARING Land District of DORSET
 Lot 36 on Sealed Plan 180384
 Derivation : Part of Lot 20326, 359A-2R-29P Gtd. to Thomas
 Valentine Brown
 Prior CT 179646/1

SCHEDULE 1


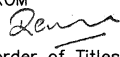
N122161 TRANSFER to STUART JAMES WAY Registered 13-Apr-2023
 at 12.01 PM

SCHEDULE 2

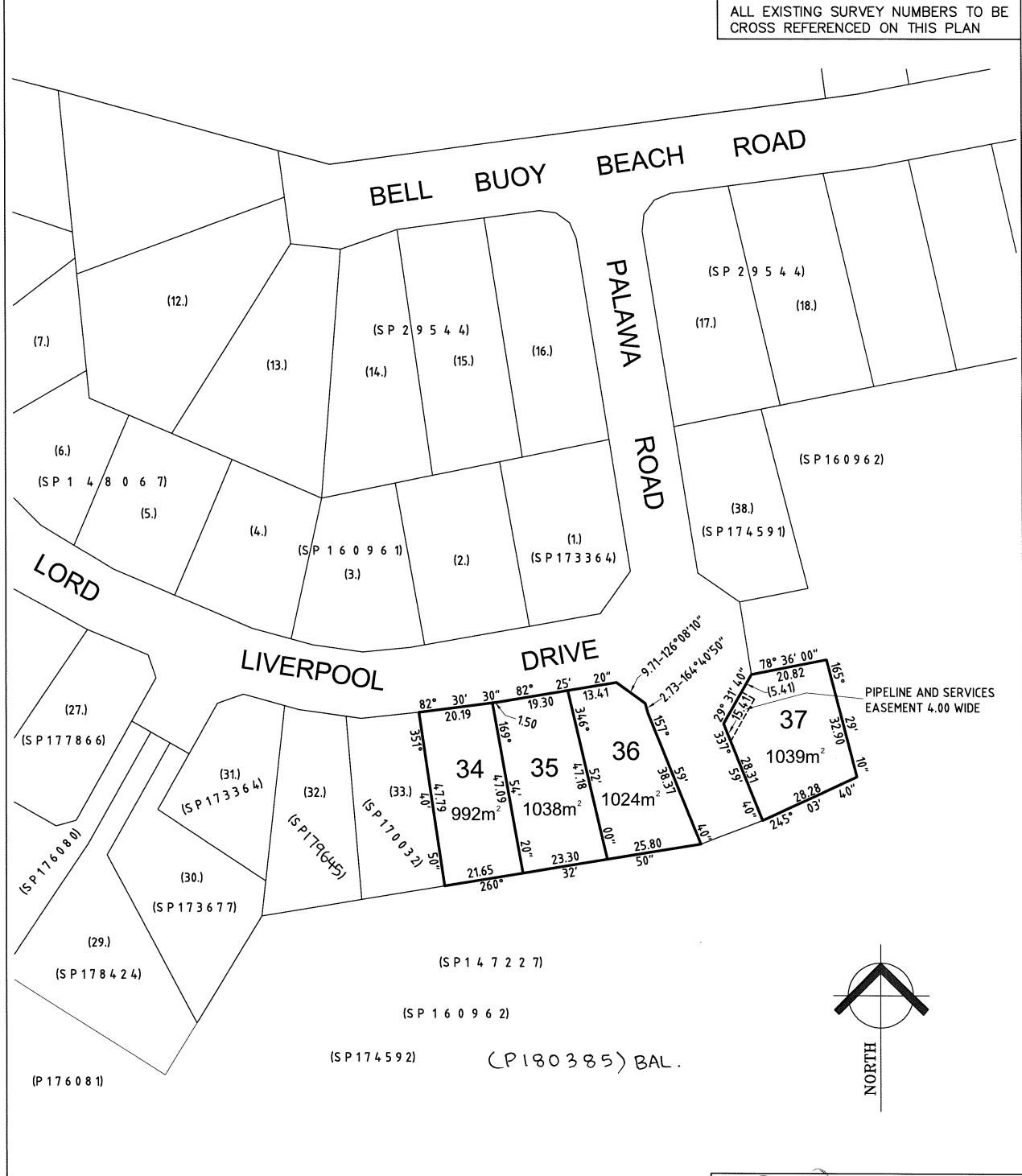
Reservations and conditions in the Crown Grant if any
 SP180384 FENCING COVENANT in Schedule of Easements
 SP180384 SEWERAGE AND/OR DRAINAGE RESTRICTION
 SP148067 FENCING PROVISION in Schedule of Easements
 E57 AGREEMENT pursuant to Section 71 of the Land Use
 Planning and Approvals Act 1993 Registered
 01-Sep-2015 at noon
 E341511 MORTGAGE to Commonwealth Bank of Australia
 Registered 13-Apr-2023 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

| | | |
|---|--|--|
| <p>OWNER DENNIS PATRICK LAWRENCE</p> <p>FOLIO REFERENCE: C.T.179646-1</p> <p>GRANTEE PART OF LOT 20326, 359^A-2^R-29^P GRANTED TO THOMAS VALANTINE BROWN.</p> | <p align="center">PLAN OF SURVEY</p> <p>BY SURVEYOR R. M. PECK</p>  <p>LOCATION LAND DISTRICT OF DORSET PARISH OF CHARING</p> <p>SCALE 1:1000 LENGTHS IN METRES</p> | <p>REGISTERED NUMBER SP180384</p> <p>APPROVED EFFECTIVE FROM - 4 JAN 2021</p>  Recorder of Titles |
|---|--|--|

ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN



| | |
|---|---|
|  Registered Land Surveyor 26/11/2020 Date |  COUNCIL DELEGATE 21/12/20 DATE |
|---|---|

| | |
|--|-------------------|
| SCHEDULE OF EASEMENTS | Registered Number |
| NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED. | SP 180384 |

PAGE 1 OF 3 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS

Lot 37 is subject to a Pipeline & Services Easement in gross in favour of Tasmanian Water & Sewerage Corporation Pty Ltd (its successor's and assigns) over the area marked "PIPELINE AND SERVICES EASEMENT 4.00 WIDE" passing through such lot (the "Easement Land"). -

FENCING COVENANT

The owner of each lot on the plan covenants with Dennis Patrick Lawrence (the vendor) that the vendor will not be required to fence any lot on the plan.

Interpretation:

For the purpose of this Schedule:

"Pipeline & Services Easement" is defined as follows:

- (a) Firstly, the full and free right and liberty for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times:
 - (i) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;

(USE ANNEXURE PAGES FOR CONTINUATION)

| | |
|--|--|
| SUBDIVIDER: DENNIS PATRICK LAWRENCE FOLIO REF: Volume 179646 Folio 1 SOLICITOR Rae & Partners Amelia Goss & REFERENCE: AKG:203267 | PLAN SEALED BY: GEORGETOWN COUNCIL DATE: 21 ST DECEMBER 2020 DA 2004/121 REF NO. Council Delegate |
| <p>NOTE: The Council Delegate must sign the Certificate for the purposes of identification.</p> | |

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| | |
|--|--|
| <p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 2 OF 3 PAGES</p> | <p>Registered Number</p> <p>SP 180384</p> |
| <p>SUBDIVIDER: DENNIS PATRICK LAWRENCE FOLIO REFERENCE: 179646/1</p> | |

- (ii) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
 - (iii) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
 - (v) run and pass sewage, water and electricity through and along the Infrastructure;
 - (vi) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition;
 - (vii) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
 - (viii) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.
- (b) Secondly, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;

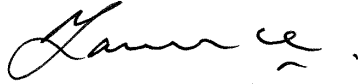
NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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| | |
|--|--|
| <p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 3 OF 3 PAGES</p> | <p>Registered Number</p> <p>SP 180384</p> |
| <p>SUBDIVIDER: DENNIS PATRICK LAWRENCE FOLIO REFERENCE: 179646/1</p> | |

- (f) any thing reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

"TasWater" means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.



SIGNED by **DENNIS PARTICK LAWRENCE** in the presence of:

(witness signature) 

(witness full name) **NATALIE HAMPTON**

(witness occupation) **Postal Service Officer**

(witness address) **13 Canopus Drive
Blackstone Heights 7250**

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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