



ABN 68 300 116 092

PLANNING APPLICATION FORM

Section 57 & 58

OFFICE USE ONLY		
Application Number: DA 2024 / 27	Date: 04.04.2024	
PID: 6463591	Zone: Low Density Residential	Permitted or Discretionary

DEVELOPMENT APPLICATION DETAILS			
Applicant Name:	BRAO VAN ZETTEN		
Location/Address:	13 SCOTT STREET LULWORTH 7252		
Title Reference:	7 / 237995		
Existing Development/Use: <small>(describe the way the land is used now)</small>	RESIDENTIAL DWELLING		
Development Type:	New dwelling <input type="checkbox"/> Outbuilding <input type="checkbox"/> Addition/extension <input checked="" type="checkbox"/> Fencing <input type="checkbox"/> Demolition <input type="checkbox"/> Signage <input type="checkbox"/> Subdivision <input type="checkbox"/> Change of use <input type="checkbox"/> Other <input type="checkbox"/>		
Description/Use:	RESIDENTIAL DWELLING		
New floor area:	32- HOUSE 24-DECK ^{m²}	Total floor area:	168 m ² New building height: 4.5 m
Water Supply:	TasWater <input type="checkbox"/> Tank <input checked="" type="checkbox"/>	Wastewater:	TasWater <input type="checkbox"/> On-Site Wastewater System <input checked="" type="checkbox"/>
Driveway/Vehicle Crossover:	Existing <input type="checkbox"/> Proposed <input type="checkbox"/> Alteration Required <input checked="" type="checkbox"/> <i>Contact Council's engineering department for details on crossover construction</i>		
Does the application include Crown Land or access via a Crown Access License?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> If 'yes', please provide Crown consent to lodge the planning application in accordance with section 52 (1B) of the Land Use Planning and Approvals Act 1993.		

SUBDIVISION		N/A <input type="checkbox"/>
Existing Lots:		Number of total lots proposed:

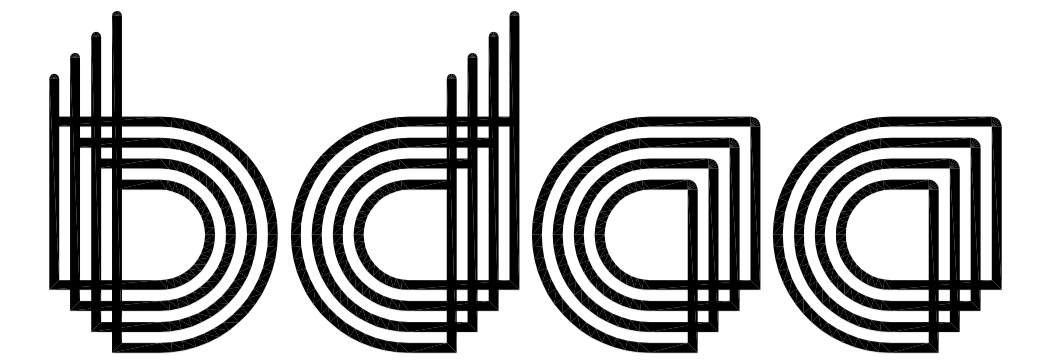
COMMERCIAL/INDUSTRIAL				N/A <input type="checkbox"/>
Existing business and/or proposed business description:				
Hours of Operation:	Weekdays (Mon – Fri)		To	
	Saturday		To	
	Sunday		To	
Signage:	Yes <input type="checkbox"/> No <input type="checkbox"/> If 'yes', please provide details with application.			
Existing no. of employees:		No. of employees (proposed):		
Parking spaces (existing)		Parking spaces (proposed)		

LEGEND
 PAGE 1# COVER PAGE
 PAGE 2# LOCALITY PLAN
 PAGE 3# EXISTING SITE SURVEY PLAN
 PAGE 4# SITE PLAN
 PAGE 5# SOIL AND WATER MANAGEMENT PLAN
 PAGE 6# EXISTING FLOOR PLAN
 PAGE 7# EXISTING ELEVATIONS
 PAGE 8# FLOOR PLAN
 PAGE 9# ELEVATIONS
 PAGE 10# ROOF PLAN

COUNCIL – GEORGE TOWN COUNCIL
 ZONE – LOW DENSITY RESIDENTIAL
 CODE – BUSHFIRE PRONE AREA
 LANDSLIDE BAND – NIL

TITLE REF. = 237995/7

PROPOSED EXTENSION FOR C AND G DONALD AT 13 SCOTT STREET LULWORTH 7252



**BUILDING DESIGNERS
 ASSOCIATION OF AUSTRALIA**

CLIMATE ZONE FOR THERMAL DESIGN = 7

ALPINE AREA – N/A LESS THAN 900m AHD

CORROSION ENVIRONMENT – SEVERE

OTHER HAZARDS – N/A

ALL DIMENSIONS SHOWN ARE TO OUTSIDE OF BRICKWORK CLADDING OR TIMBER FRAMING ON CLAD HOUSES UNLESS NOTED OTHERWISE

CONFIRM ALL DIMENSIONS AND SERVICES ON SITE PRIOR TO COMMENCEMENT OF WORKS

IF IN ANY DOUBT ABOUT BEARING AND BOUNDARIES THEN THESE MUST BE CONFIRMED ONSITE BY A SURVEYOR PRIOR TO SETOUT

ENSURE DRAWINGS USED ONSITE ARE STAMPED 'APPROVED' PLANS BY BUILDING SURVEYOR AND PERMIT AUTHORITY

H4D9 CONDENSATION MANAGEMENT TO BE COMPLIANT WITH NCC PART 10.8 CONDENSATION MANAGEMENT.


NOTES
 (1)REFER TO THE GUIDANCE IN THE "CONDENSATION IN BUILDINGS TASMANIAN DESIGNERS' GUIDE" – CURRENT VERSION AVAILABLE AT WWW.CBOS.TAS.GOV.AU. THIS GUIDE MUST BE READ IN CONJUNCTION WITH THE NCC.

IF ANY DISCREPANCIES, APPARENT ERROR, ANOMALY OR AMBIGUITY WITHIN THE DOCUMENTATION IS FOUND. THE DESIGNER IS TO BE CONTACTED PRIOR TO ANY MORE CONSTRUCTION CONTINUING.

ENSURE THAT DRAWINGS ARE NOT SCALED AND THAT THE NOTED DIMENSIONS ARE USED FOR ACCURACY. IF IN ANY DOUBT CONTACT DESIGNER

REVISION NUMBER	DATE
REVISION 1	06 / 03 / 2024
REVISION 2	25 / 03 / 2024
REVISION 3	26 / 03 / 2024

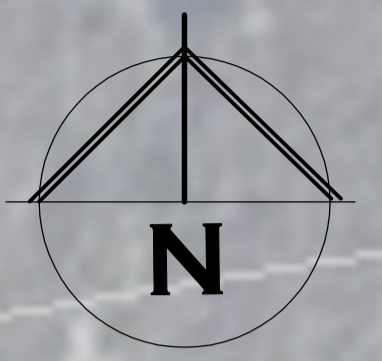
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DESIGNS

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 LICENCE NUMBER 957699796



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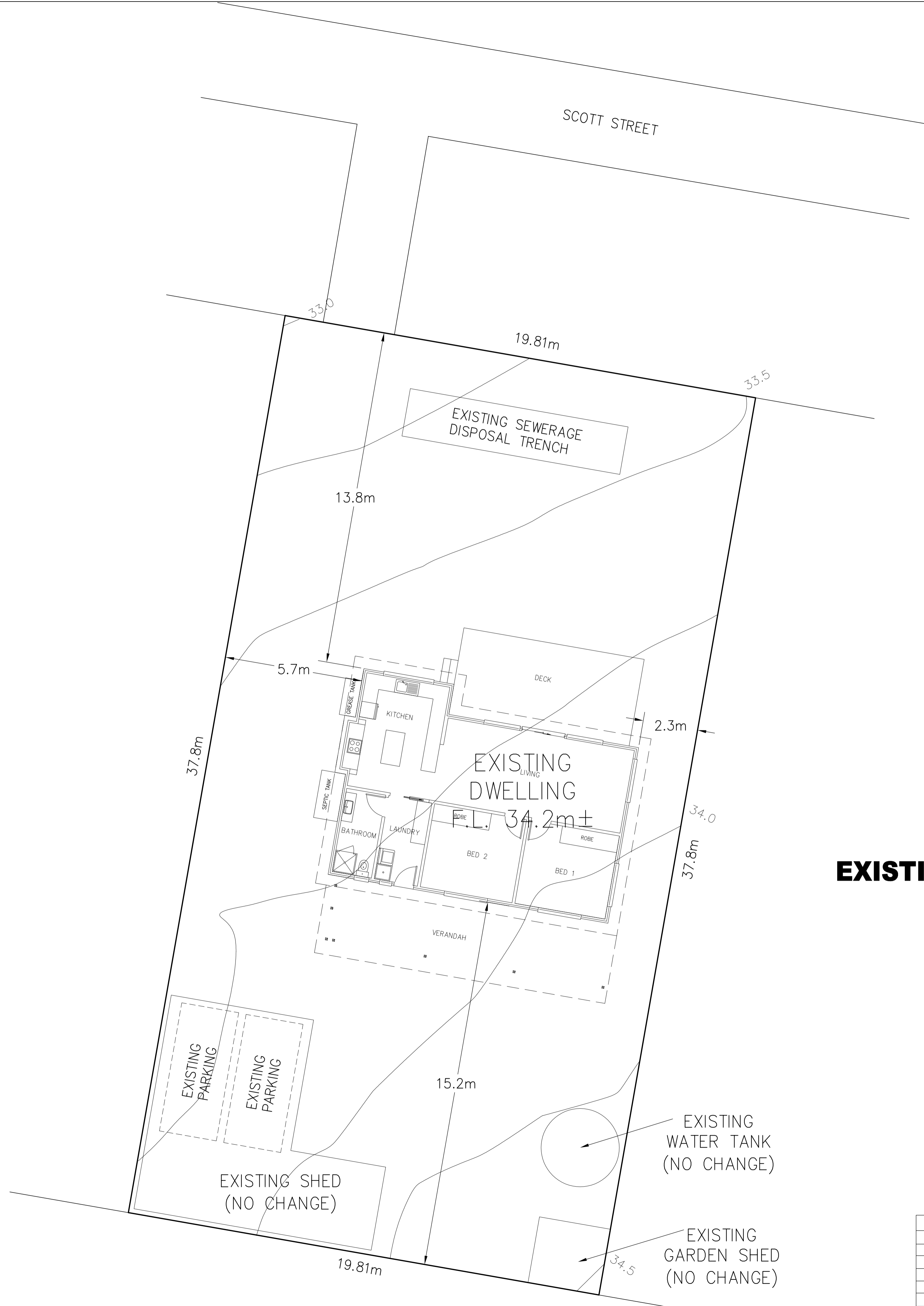
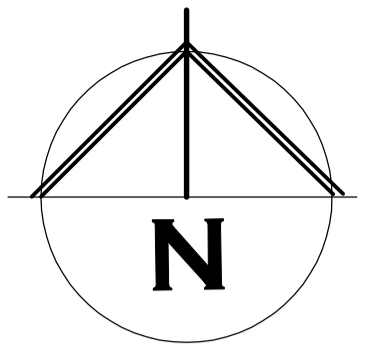
DRAWING: LOCALITY PLAN

DESIGNED: B. v. Z. APPROVED.
DRAWN: B. v. Z. DATE: 26 / 03 / 24

SCALE: 1:1000. DRAWING No.:
A3. DON0324 - 2/10

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LOCALITY PLAN



EXISTING SITE SURVEY PLAN



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DESIGNED: B. v. Z. APPROVED:
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UN-RETAINED BULK EARTHWORKS – SITE CUT AND FILL PART 3.2.1

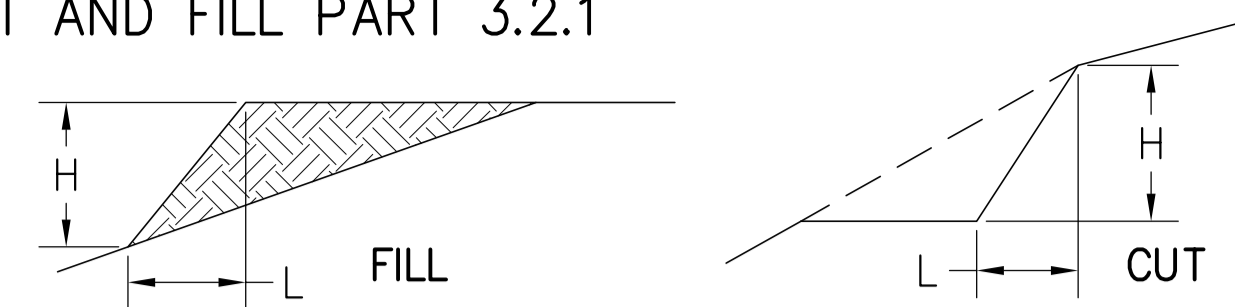


TABLE 3.2.1: SOIL TYPE		EMBANKMENT SLOPES H:L	
		COMPACTED FILL	CUT
STABLE ROCK		3:3	8:1
SAND		1:2	1:2
CLAY	FIRM CLAY	1:2	1:1
	SOFT CLAY	NOT SUITABLE	2:3
SOFT SOILS		NOT SUITABLE	NOT SUITABLE

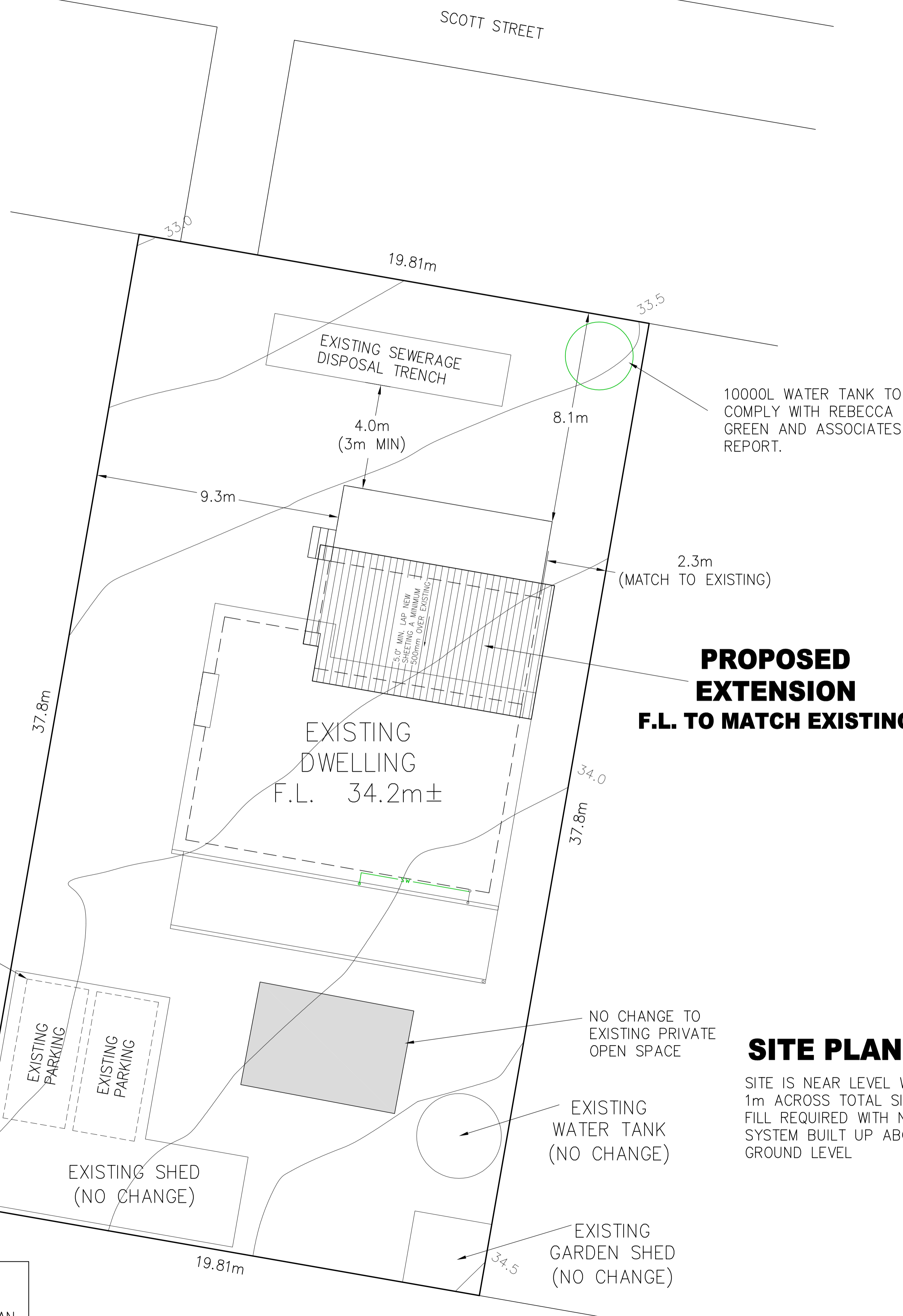
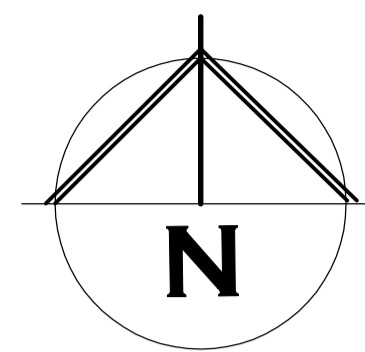
EMBANKMENTS THAT ARE TO BE LEFT EXPOSED AT THE END OF THE CONSTRUCTION WORKS MUST BE STABILISED BY VEGETATION OR SIMILAR TO PREVENT SOIL EROSION

- (1) A SITE CUT USING AN UN-RETAINED EMBANKMENT MUST BE--
 (A) WITHIN THE ALLOTMENT; AND
 (B) NOT WITHIN THE ZONE OF INFLUENCE OF ANY EXISTING STRUCTURE ON THE PROPERTY, OR THE ALLOTMENT BOUNDARY AS DEFINED IN TABLE 3.2.1 AND FIGURE 3.2.1A; AND
 (C) NOT DEEPER THAN 2 M FROM THE NATURAL GROUND LEVEL AT ANY POINT.

- (2) FILL, USING AN UN-RETAINED EMBANKMENT MUST--
 (A) BE PLACED WITHIN THE ALLOTMENT; AND
 (B) BE PLACED AT A GRADIENT WHICH COMPLIES WITH TABLE 3.2.1 AND FIGURE 3.2.1B; AND
 (C) BE PLACED AND MECHANICALLY COMPACTED IN LAYERS NOT MORE THAN 150 MM; AND
 (D) BE NOT MORE THAN 2 M IN HEIGHT FROM THE NATURAL GROUND LEVEL AT ANY POINT; AND
 (E) WHERE USED TO SUPPORT FOOTINGS OR SLABS, BE PLACED AND COMPACTED IN ACCORDANCE WITH PART 4.2; AND
 (F) HAVE SURFACE WATER DIVERTED AWAY FROM ANY EXISTING STRUCTURE ON THE PROPERTY OR ADJOINING ALLOTMENT IN ACCORDANCE WITH 3.3.3.

SITE AREA TABLE

	SQUARE METER	PERCENTAGE OF LOT
SITE AREA	749	
BUILDING AREA EXCLUDING EAVES UP TO 0.6m WIDE (AS PER PLANNING SCHEME)	246	32.8
AREA FREE FROM IMPERVIOUS SURFACES	503	67.2



PROPOSED EXTENSION
F.L. TO MATCH EXISTING

SITE PLAN

SITE IS NEAR LEVEL WITH LESS THAN 1m ACROSS TOTAL SITE. NO CUT OR FILL REQUIRED WITH NEW FLOOR SYSTEM BUILT UP ABOVE NATURAL GROUND LEVEL

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DRAWING: SITE PLAN

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PRIVATE OPEN SPACE
 6x4m

NO CHANGE TO EXISTING ACCESS OR PARKING

NO CHANGE TO EXISTING PRIVATE OPEN SPACE

EXISTING WATER TANK (NO CHANGE)

EXISTING GARDEN SHED (NO CHANGE)

EXISTING SHED (NO CHANGE)

EXISTING PARKING

EXISTING PARKING

EXISTING DWELLING
 F.L. 34.2m±

EXISTING SEWERAGE DISPOSAL TRENCH

10000L WATER TANK TO COMPLY WITH REBECCA GREEN AND ASSOCIATES REPORT.

FACT SHEET 3 – SOIL AND WATER MANAGEMENT.
PLAN TO BE KEPT ONSITE AND ALL TIMES AND ALL WORKERS UNDERSTAND THE SWMP

FACT SHEET 4 – DISPERSIVE SOILS, NOT APPLICABLE.

FACT SHEET 5 – MINIMISE SOIL DISTURBANCE.
DO TRACK MACHINERY UP AND DOWN THE SLOPE TO CREATE GROOVES FROM THE WHEELS/ OR TRACKS THAT WILL CATCH RAINFALL. THE GROOVES WILL ROUGHEN THE SURFACE IN A WAY THAT WILL SLOW RUNOFF. AS PER FACT SHEET CLEARING FOR WORKS TO BE LIMITED TO WITHIN 5 METRES FROM THE EDGE OF ANY ESSENTIAL CONSTRUCTION ACTIVITY. NO TOPSOIL SHALL BE REMOVED FROM LAND OUTSIDE THE AREAS OF GROUND DISTURBANCE SHOWN. ALL AREAS OF GROUND DISTURBANCE MUST BE DRESSED WITH TOP SOIL AND WHERE APPROPRIATE REVEGETATED AND STABILISED TO PREVENT FUTURE EROSION OR SILTATION.

FACT SHEET 6 – PRESERVE VEGETATION.
WHERE EXISTING TREES ARE TO REMAIN ON THE SITE, ESTABLISH NO GO AREA AROUND TREES OF BRIGHT TAPE ON STAR PICKETS MINIMUM 1m AWAY FROM BASE OF TREE
EXISTING GROUND VEGETATION TO BE RETAINED WHEN EVER POSSIBLE. MINIMUM 400mm WIDE GRASS STRIPS TO BE RETAINED ON BACK OF KERB FOR FILTERING RUNOFF. INSTALLED AS PER FACT SHEET

FACT SHEET 7 – DIVERT UP-SLOPE WATER
DIVERSION CHANNEL TO BE CONSTRUCTED ON HIGHSIDE OF SITE MINIMUM 150MM DEEP WITH 10% MAX FALL WITH A CURVED SHAPE WITH EXCAVATED SOIL FROM THE CHANNEL ON THE DOWN-SLOPE SIDE TO INCREASE DIVERSION CHANNEL CAPACITY. LEVEL SPREADER TO END OF DIVERSION CHANNEL TO ENSURE WATER DISCHARGE IS SLOW MOVING MINIMUM 4M WIDE. INSTALLED AS PER FACT SHEET

FACT SHEET 8 – EROSION CONTROL MATS AND BLANKETS
WHERE FINISHED BATTERS ARE PROPOSED TO BE STEEPER THAN 1:3 EROSION CONTROL BLANKETS TO BE INSTALLED ON BATTER FOR SITE REHABILITATION. INSTALLED AS PER FACT SHEET

FACT SHEET 9 – PROTECT SERVICES TRENCHES AND STOCKPILES
ALL STOCKPILES TO BE POSITIONED CLEAR OF WATER COURSES AND TO ENSURE THAT NO SILT RUNOFF CAN ENTER A WATER COURSE.

TOP SOIL TO BE STOCKPILED SEPARATELY AND SPREAD OVER BACKFILLED AREAS. SPOIL TO BE STOCKPILED IN A NARROW CORRIDOR ON THE UPSTREAM SIDE OF ALL EXCAVATION. TEMPORARY CATCH DRAINS TO BE CONSTRUCTED ON THE UPSTREAM SIDE OF STOCKPILES AND EXCAVATED AREAS, DIRECTING RUNOFF TO EXISTING STORMWATER SYSTEM.
SERVICE TRENCHES TO HAVE SOIL PLACED ON TOPSIDE OF TRENCH TO DIVERT WATER FLOW AWAY FROM THE TRENCH LINE.

FACT SHEET 10 – EARLY ROOF DRAINAGE CONNECTION
DOWNPIPES TO BE CONNECTED INTO STORMWATER SYSTEM AS SOON AS THE ROOF IS INSTALLED.
TEMPORARY DOWNPIPES TO DIRECT WATER TO TUFTED AREAS.

FACT SHEET 11 – SCOUR PROTECTION
NOT APPLICABLE AS NO NEW DAMS/ CULVERTS

FACT SHEET 12 – STABILISED SITE ACCESS
DIVERSION HUMP INSTALLED ON ROAD ACCESS WITH WATER DIRECTED TO SEPARATE SILT FENCE.
INSTALLED AS PER FACT SHEET

FACT SHEET 13 – WHEEL WASH
EVERY EFFORT TO BE MADE TO MINIMISE SPREADING SEDIMENT ON TO SEALED AREAS WHEN VEHICLES LEAVE THE SITE, INCLUDING THE WASHING DOWN OF TYRES.

FACT SHEET 14 – SEDIMENT FENCES
SEDIMENT FENCE INSTALLED AS PER DETAIL AND FACT SHEET

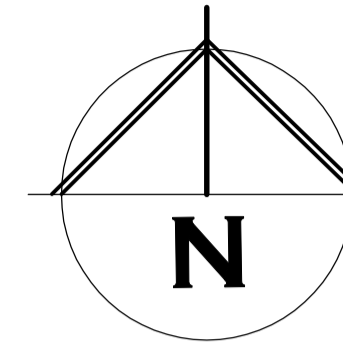
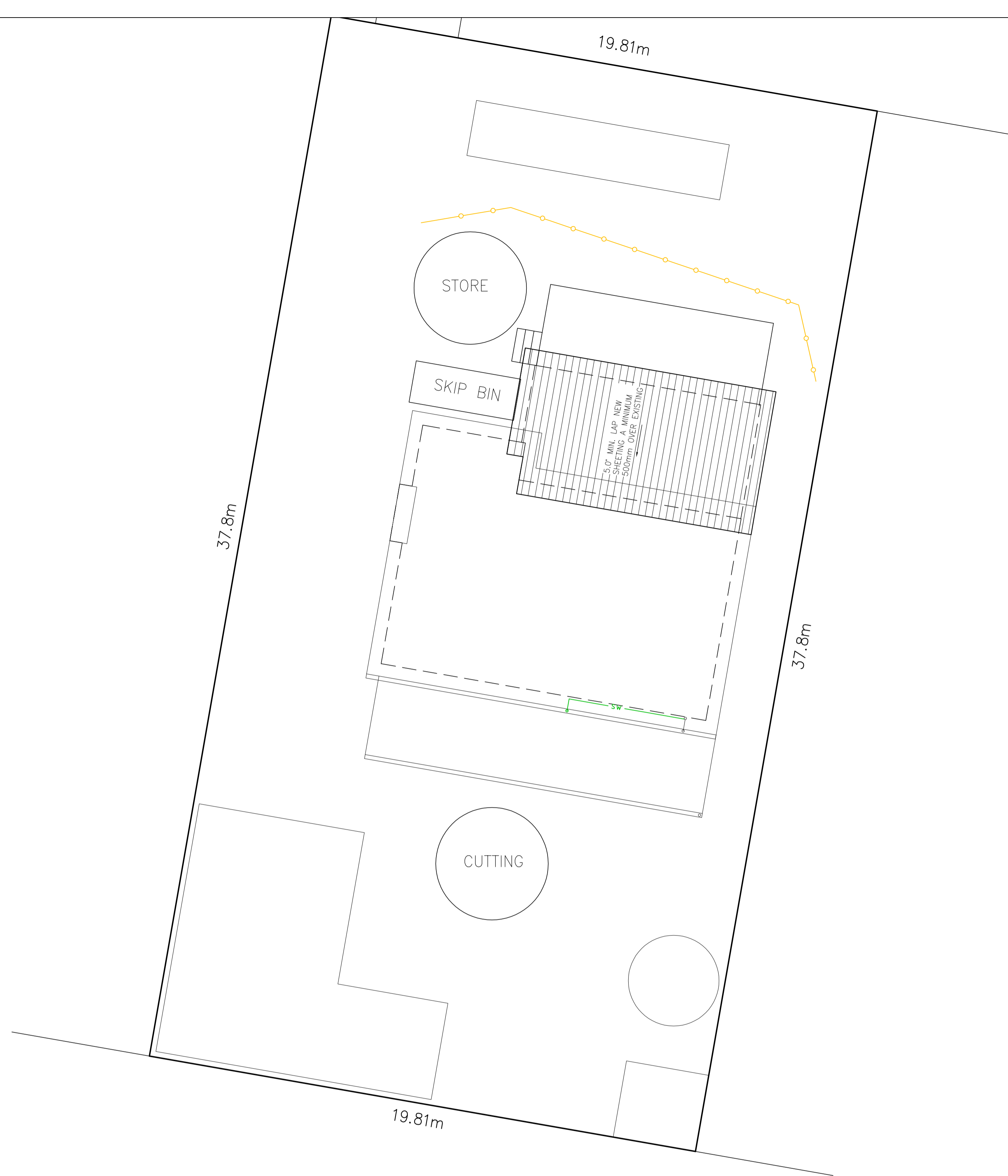
FACT SHEET 15 – PROTECTION OF STORMWATER PITS
PITS INSTALLED ONSITE TO BE CONSTRUCTED WITH DRIVEWAY AT END OF JOB AFTER FINISHED CONSTRUCTION OF BUILDING. THEREFORE NO REQUIREMENTS FOR PITS.

FACT SHEET 16 – PROTECTED CONCRETE, BRICK AND TILE CUTTING
ALL CUTTING TO BE INSIDE NOMINATED AREA AS PER SWMP WITH FILTER SOCKS INSTALLED ON LOW SIDE. SLURRY TO BE DISPOSED OFF IN GEOTEXTILE LINED DITCH OR DRUMS

FACT SHEET 17 – SEDIMENT BASINS
NOT REQUIRED DUE TO SCALE OF WORKS.

FACT SHEET 18 – DUST CONTROL
DURING EXTENDED PERIODS OF DRY WEATHER, DAMPEN THE SITE SLIGHTLY WITH A LIGHT APPLICATION OF WATER DURING EXCAVATION OR WHEN DUST IS BEING RAISED

FACT SHEET 19 – SITE REVEGETATION
ALL OF SITE THAT IS NOT FINISHED IN HARD SURFACES TO BE REVEGETATION WITH GRASS OR MULCH AS PER LANDSCAPING PLAN OR TO OWNERS DETAILS



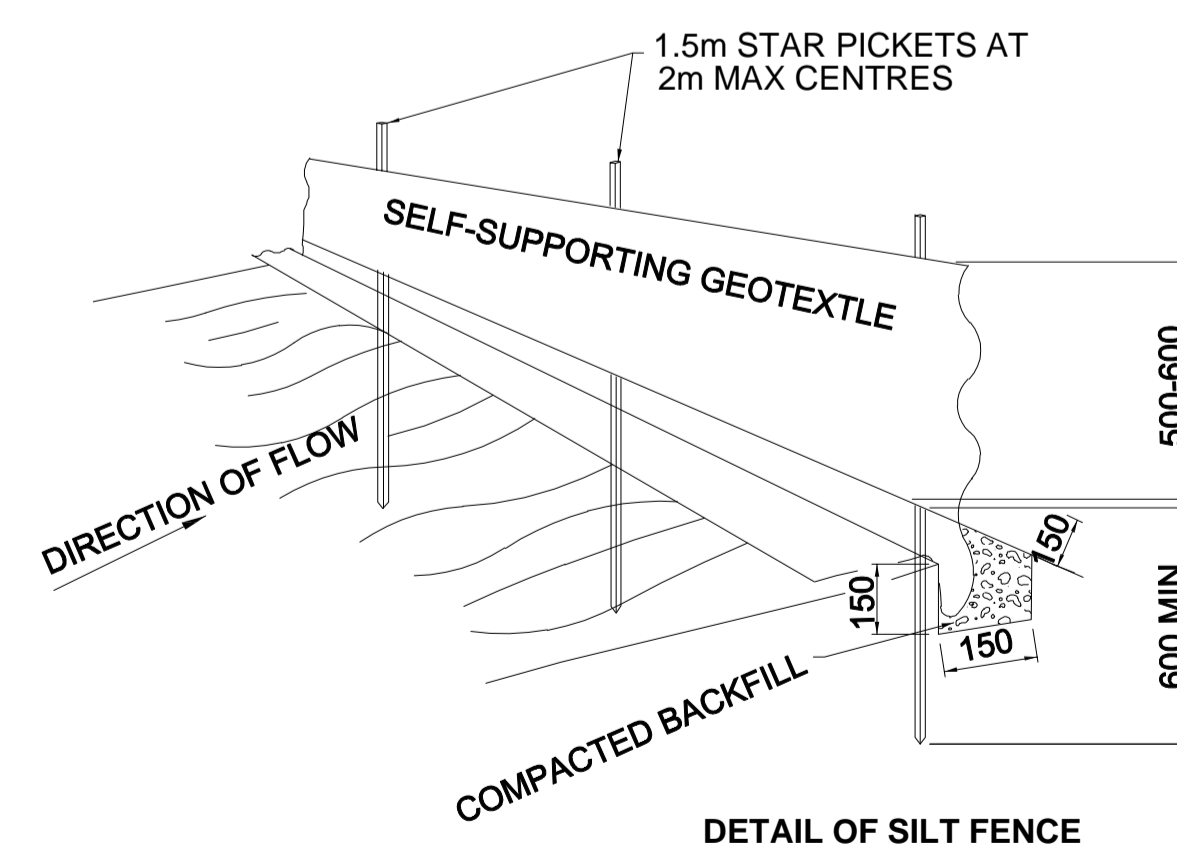
SOIL AND WATER MANAGEMENT PLAN

SILT FENCE AS PER DETAIL

SKIP BIN

STORE MATERIAL STORAGE

CUTTING CONCRETE, BRICK AND TILE CUTTING AREA



- SEDIMENT FENCE NOTES:
1. SURVEY AND MARK OUT LOCATION OF SEDIMENT FENCE, ENSURE IT IS PARALLEL TO THE CONTOURS OF THE SITE AND TO DRAIN IN THE CORRECT DIRECTION
 2. DIG A 150 MM TRENCH IMMEDIATELY ABOVE THE PROPOSED FENCE LINE.
 3. PLACE THE BOTTOM OF THE FABRIC TO THE BASE OF THE TRENCH AND RUN FABRIC UP THE DOWN-SLOPE SIDE OF THE TRENCH.
 4. BACKFILL THE TRENCH AND COMPACT TO SECURE ANCHORAGE OF THE FABRIC.
 5. DRIVE 1.5 M STAR PICKETS INTO GROUND, 2 M APART TO SUPPORT THE SEDIMENT FENCE FABRIC. TENSION AND FASTEN FABRIC TO PICKETS USING UV STABILISED ZIP TIES OR WIRE TIES.
 6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 2 M OVERLAP.
 7. ANGLE THE ENDS OF THE SEDIMENT FENCE UPSLOPE TO REDUCE SCOURING

DOWNPIPES TO BE CONNECTED INTO STORMWATER SYSTEM AS SOON AS THE ROOF IS INSTALLED

INSTALL AG DRAIN (IF SHOWN) PRIOR TO FOOTING EXCAVATION

EXCAVATED MATERIAL PLACED UP SLOPE OF CUT OFF DRAIN. TO BE REMOVED WHEN BUILDING WORKS ARE COMPLETE AND USED AS FILL ON SITE FOR ANY LOW POINTS. INSTALL A SEDIMENT FENCE ON THE DOWNSLOPE SIDE OF MATERIAL



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DRAWING: SOIL AND WATER MANAGEMENT PLAN

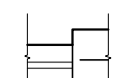


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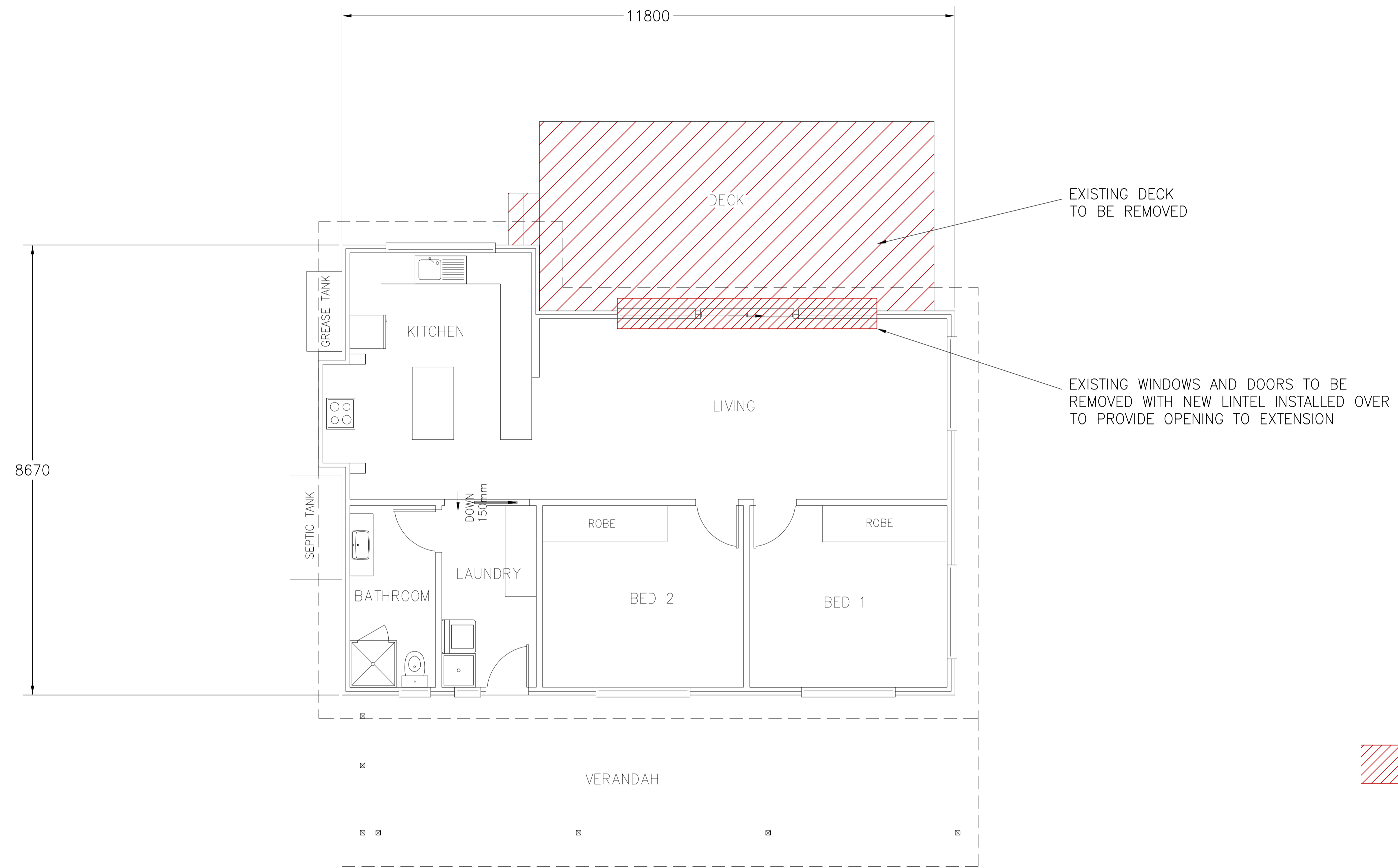
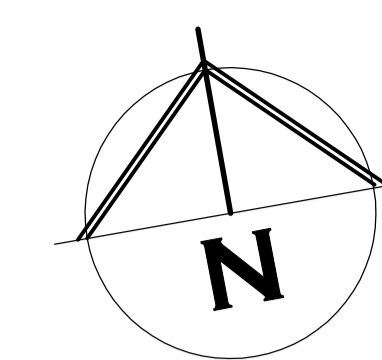
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-  BRICK VENEER WALL
-  90mm TIMBER FRAMED WALL WITH CEMENT SHEET CLADDING
-  90mm STUD WALL WITH 10mm PLASTER BOARD LINING THROUGHOUT. (WET AREA PLASTERBOARD TO WET AREA WALLS)

THIS PAGE FEATURES COLORED LINES AND SHOULD ONLY BE PRINTED IN COLOR. GREEN TEXT IN THE NOTE SECTION SERVES AS A REFERENCE



 HATCHING DENOTES AREA TO BE DEMOLISHED/ RENOVATED

ALL EXISTING STRUCTURE TO BE BRACED AND PROPPED AS REQUIRED PRIOR TO REMOVING ANY LOAD BEARING/ STRUCTURAL MEMBERS



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AREA TABLE

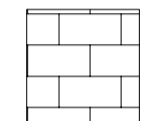
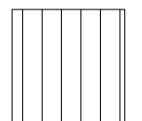
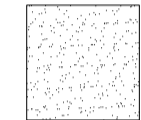

	SQUARE METER	BUILDING SQUARES
EXISTING FLOOR AREA	93.2	10.0
EXISTING VERANDAH AREA	18.0	1.9
EXISTING DECK AREA	27.7	3.0
TOTAL AREA	138.9	15.0

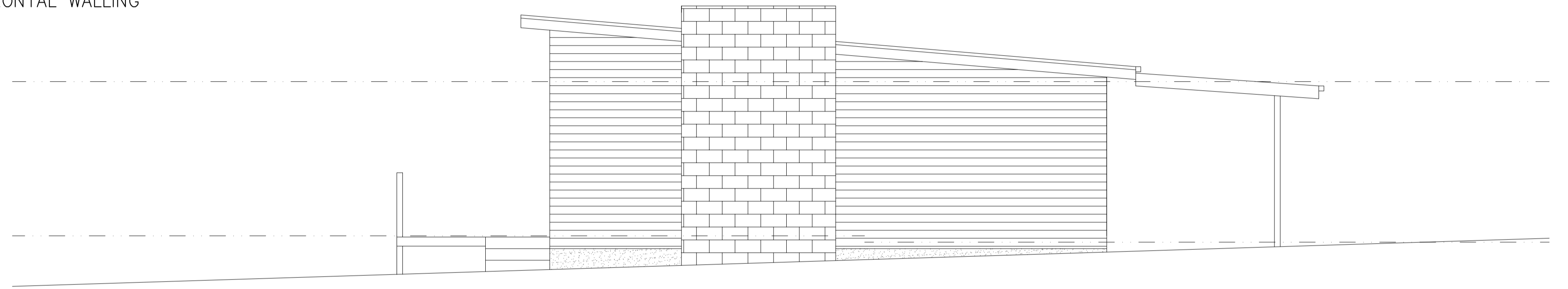
EXISTING FLOOR PLAN

EXISTING DIMENSIONS TO BE CONFIRMED ONSITE

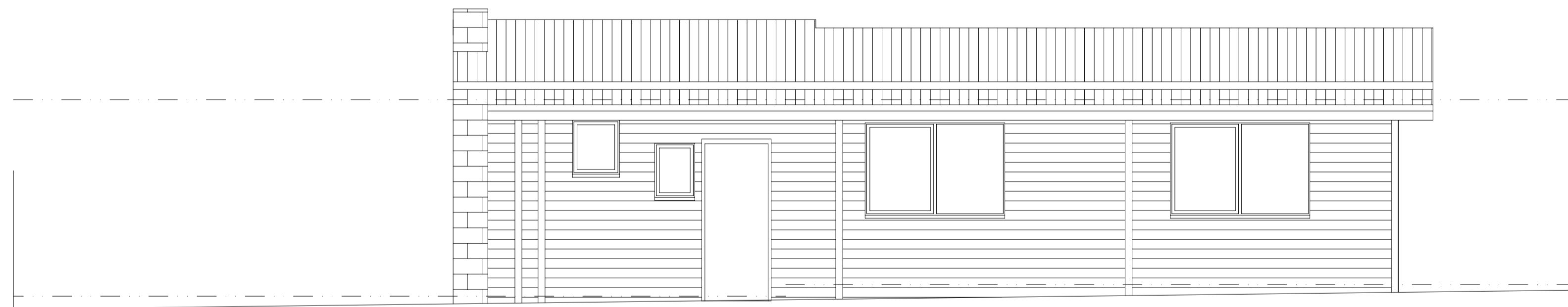


EXISTING NORTH ELEVATION

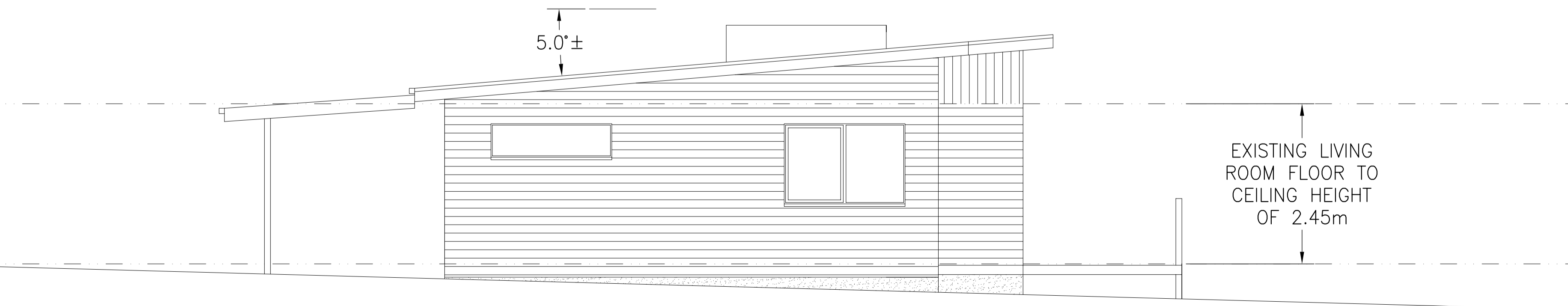
-  BLOCKWORK FIRE PLACE
-  COLORBOND CUSTOM ORB SHEET ROOFING AND VERTICAL WALLING
-  FORMED CONCRETE EDGE BEAM
-  COLORBOND CUSTOM ORB SHEET HORIZONTAL WALLING




EXISTING WEST ELEVATION



EXISTING SOUTH ELEVATION



EXISTING EAST ELEVATION



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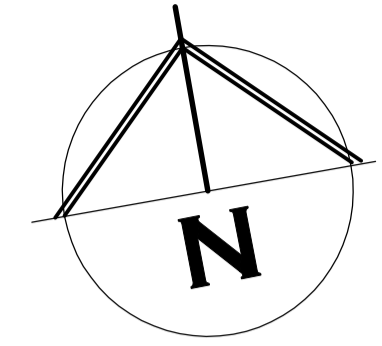
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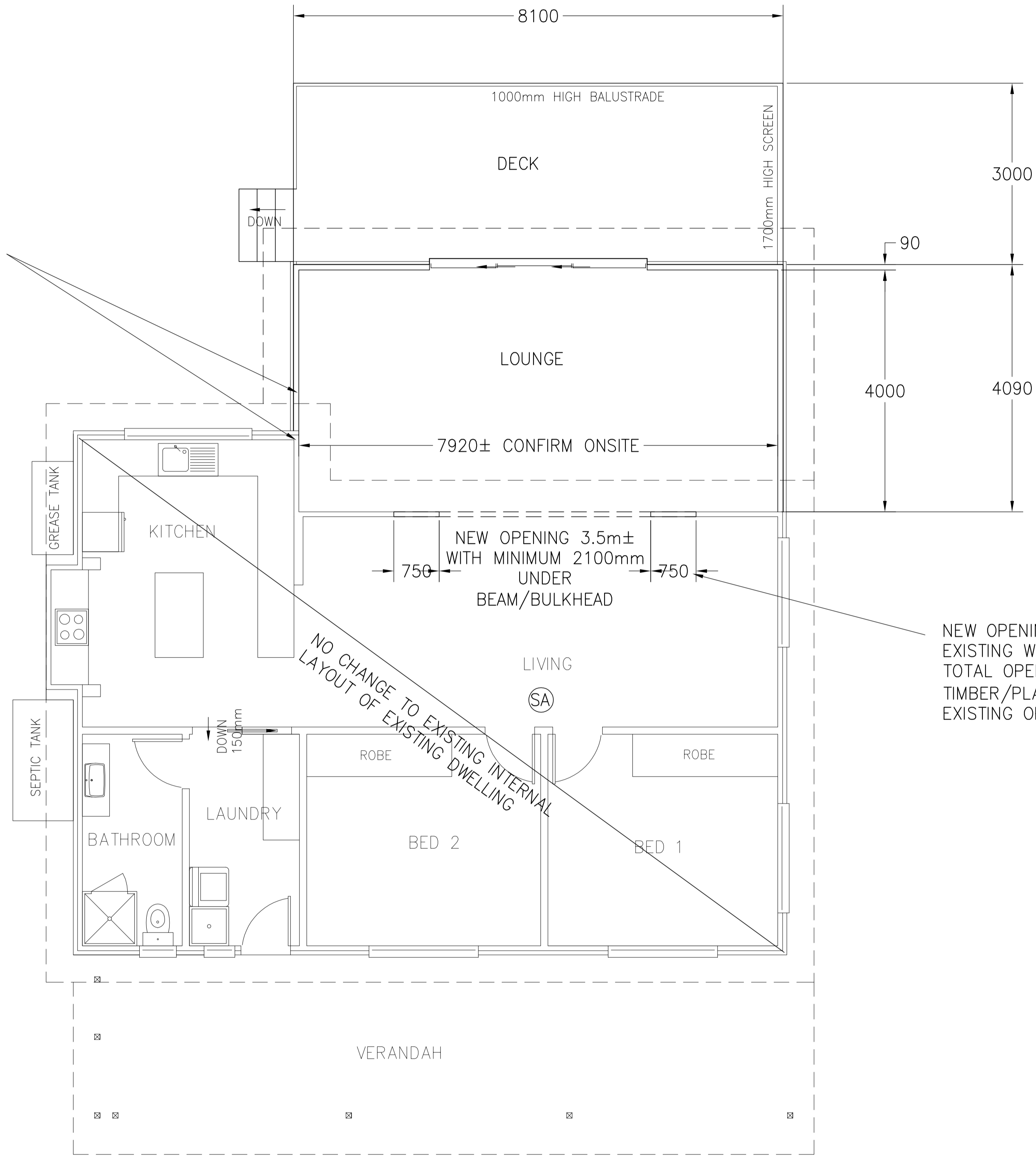
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- 90mm TIMBER FRAMED WALL WITH CEMENT SHEET CLADDING
- 90mm STUD WALL WITH 10mm PLASTER BOARD LINING THROUGHOUT. (WET AREA PLASTERBOARD TO WET AREA WALLS)



EXACT WIDTH OF PROPOSED EXTENSION CONFIRMED ONSITE WITH TIMBER FRAMING OF NEW WALL TO LINE UP WITH EXISTING KITCHEN WALL. EXISTING CLADDING REMOVED FROM EXISTING TO EXPOSE FRAME. EXISTING EXTERNAL WALL TO BE RE LINED IN PLASTER ON NEW EXTERNAL SIDE OF WALL



NEW OPENING TO BE 1.5m LESS THAN EXISTING WINDOWS AND SLIDING DOOR TOTAL OPENING. 750mm SOLID TIMBER/PLASTER NIB TO EACH SIDE OF EXISTING OPENING

(SA) – 240V HARD WIRED SMOKE ALARMS INSTALLED IN ACCORDANCE WITH NCC9.5 TO COMPLY WITH AS3786, BE CONNECTED TO MAINS POWER AND INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM

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 LICENCE NUMBER 957699796

PROJECT: PROPOSED EXTENSION FOR C AND G DONALD AT 13 SCOTT STREET LULWORTH 7252

DRAWING: FLOOR PLAN

REVISION NUMBER	DATE
REVISION 1	06 / 03 / 2024
REVISION 2	25 / 03 / 2024
REVISION 3	26 / 03 / 2024

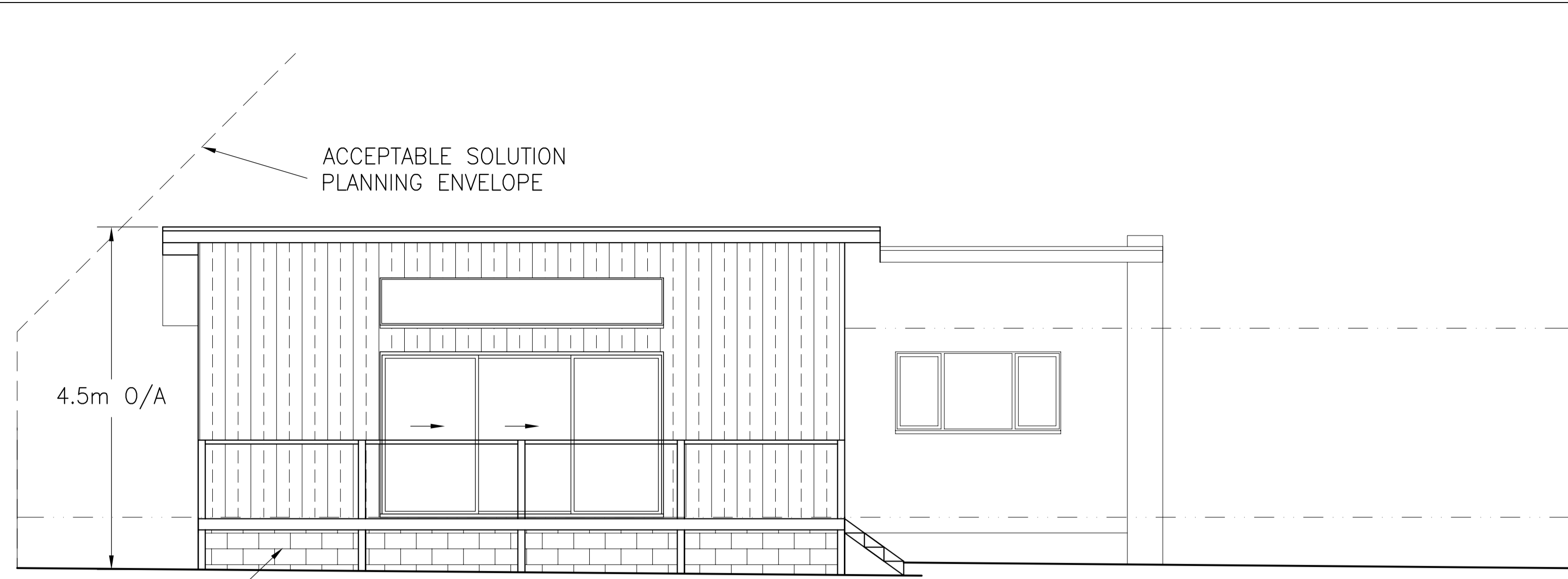
DESIGNED: B. v. Z. APPROVED.
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 A3.

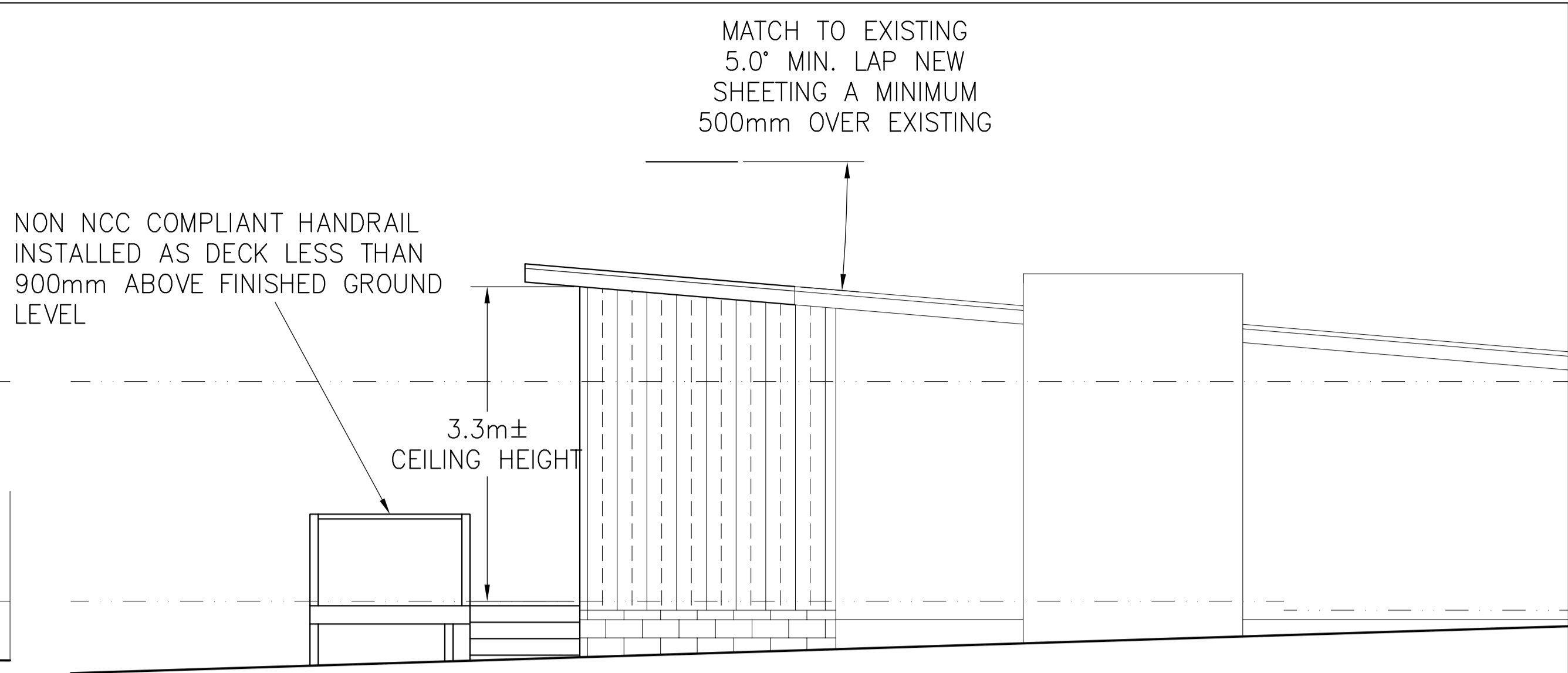
AREA TABLE		
	SQUARE METER	BUILDING SQUARES
EXISTING FLOOR AREA	93.2	10.0
EXISTING VERANDAH AREA	18.0	1.9
PROPOSED EXTENSION AREA	32.9	3.5
PROPOSED DECK AREA	24.3	2.6
TOTAL AREA	168.4	18.1

FLOOR PLAN

BRICK VENEER – DIMENSIONS AND AREA TO OUTSIDE CLADDING
 CLAD FRAME – DIMENSIONS AND AREA TO OUTSIDE OF TIMBER FRAMING. CLADDING IN ADDITION TO DIMENSIONS
 ALL INTERNAL DOORS ARE 820mm UNLESS OTHERWISE NOTED

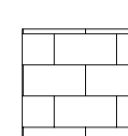

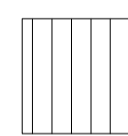
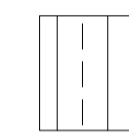


PROPOSED NORTH ELEVATION



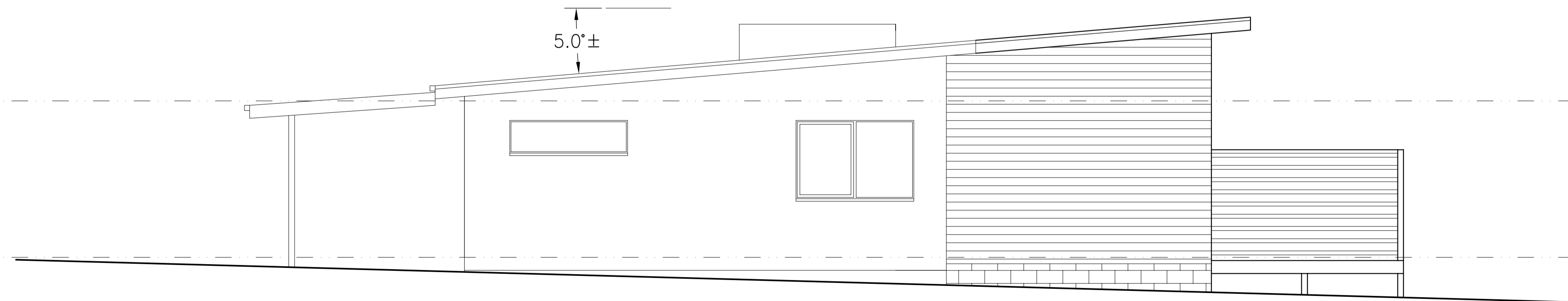
PROPOSED WEST ELEVATION

BAL APPROVED CLADDING INSTALLED AROUND DECK TO OWNER DETAILS. NOT SHOWN FOR CLARITY WITH LIVING ROOM EXTENSION SUBFLOOR SHOWN

-  EXPOSED BLOCKWORK TO FLOOR LEVEL
-  COLORBOND CUSTOM ORB SHEET HORIZONTAL WALLING INSTALLED WITH CAVITY FIXING
-  COLORBOND CUSTOM ORB SHEET ROOFING
-  JAMES HARDIES CEMENT SHEET CLADDING (AXON) INSTALLED AS PER JAMES HARDIES INSTALLATION MANUAL WITH CAVITY FIXING



PROPOSED SOUTH ELEVATION



PROPOSED EAST ELEVATION

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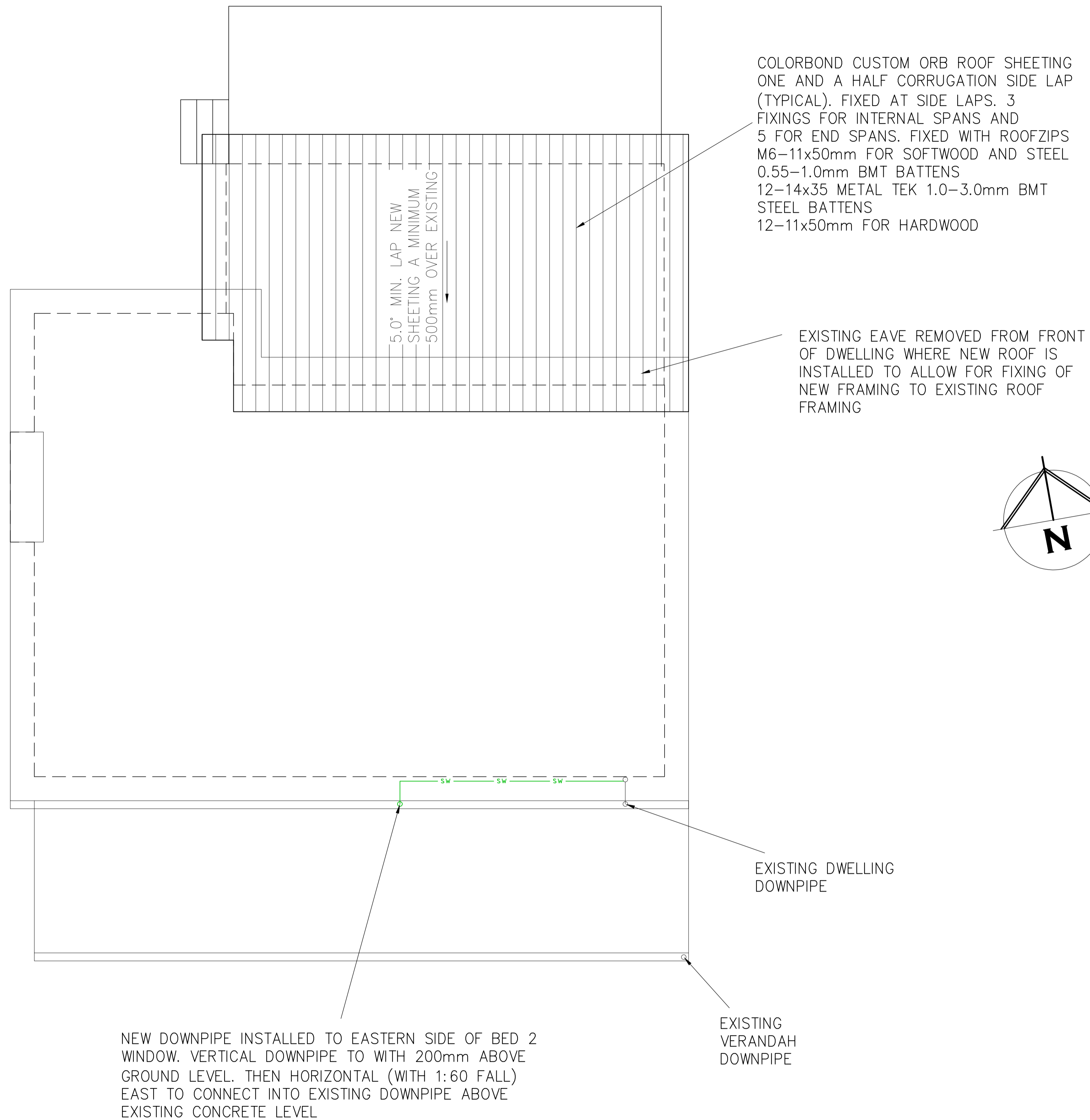
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ROOF PLAN

SHEET ROOF
75x38mm HARD WOOD OR 70x35mm MGP12
BATTENS AT 900mm MAX 900mm CRS AND SPAN.

RANGEHOOD AND BATHROOM EXTRACTION FANS
DUCTED TO EAVE/WALL VENT

ROOF CLADDING TO COMPLY WITH NCC PART 7.1-7.5

GUTTERS AND DOWNPIPES INSTALLED AS PER NCC PART 7.4
GUTTER MUST BE INSTALLED WITH A FALL NOT LESS THAN

- 1:500 FOR EAVES GUTTERS, UNLESS FIXED TO METAL FASCIAS

WHERE HIGH FRONTED GUTTERS ARE INSTALLED, PROVISION MUST BE MADE TO AVOID ANY OVERFLOW BACK INTO THE ROOF OR BUILDING STRUCTURE BY INCORPORATING OVERFLOW MEASURERS OR THE LIKE

DOWNPIPES MUST--

- (A) NOT SERVE MORE THAN 12 M OF GUTTER LENGTH FOR EACH DOWNPIPE; AND
- (B) BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS; AND
- (C) BE SELECTED IN ACCORDANCE WITH THE APPROPRIATE EAVES GUTTER SECTION AS SHOWN IN TABLE 7.4.3A, TABLE 7.4.3B AND TABLE 7.4.3C.

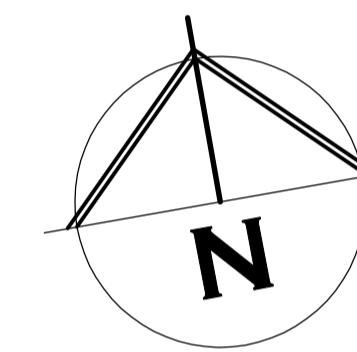
FOR ROOF CATCHMENTS UP TO 50SQ/M PER DOWNPIPE MEDIUM RECTANGULAR GUTTERS OR 115MM 'D' GUTTERS MAY BE USED WITH 90ØMM DOWNPIPES

EAVE AND GUTTER OVERFLOW MEASURE TO BE INSTALLED FOR 1% ANNUAL EXCEEDANCE PROBABILITY

BOX GUTTERS AS PER AS3500.3

7.4.6 ACCEPTABLE CONTINUOUS OVERFLOW MEASURE

- (1) FOR A FRONT FACE SLOTTED GUTTER WITH--
A MINIMUM SLOT OPENING AREA OF 1200 MM² (A) PER METRE OF GUTTER; AND
 - (a) THE LOWER EDGE OF THE SLOTS INSTALLED A MINIMUM OF 25 MM BELOW THE TOP OF THE FASCIA,
THE ACCEPTABLE OVERFLOW CAPACITY MUST BE 0.5 L/S/M, CONSTRUCTED IN ACCORDANCE WITH FIGURE 7.4.6A.
- (2) FOR A CONTROLLED BACK GAP WITH--
 - (a) A PERMANENT MINIMUM 10 MM SPACER INSTALLED BETWEEN THE GUTTER BACK AND THE FASCIA; AND
 - (b) ONE SPACER PER BRACKET, WITH THE SPACER NOT MORE THAN 50 MM WIDE; AND
 - (c) THE BACK OF THE GUTTER INSTALLED A MINIMUM OF 10 MM BELOW THE TOP OF THE FASCIA,
THE ACCEPTABLE OVERFLOW CAPACITY MUST BE 1.5 L/S/M, CONSTRUCTED IN ACCORDANCE WITH FIGURE 7.4.6B.
- (3) FOR THE CONTROLLED BACK GAP OPTION, THE SPACER CAN BE A PROPRIETARY CLIP OR BRACKET THAT PROVIDES THE REQUIRED OFFSET OF THE GUTTER FROM THE FASCIA.



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DON0324 - 10/10
A3.

SEARCH OF TORRENS TITLE

VOLUME 237995	FOLIO 7
EDITION 2	DATE OF ISSUE 09-Mar-1998

SEARCH DATE : 03-Mar-2024
SEARCH TIME : 02.42 PM

DESCRIPTION OF LAND

Town of LULWORTH
Lot 7 on Plan 237995
Derivation : Whole of Lot 7 Sec J Gtd to B Stacey.
Prior CT 3689/33

SCHEDULE 1

C91320 TRANSFER to GLEN RODNEY DONALD and CATHERINE JAYNE
DONALD Registered 09-Mar-1998 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OS D 435

ANNEXURE TO CERTIFICATE OF TITLE

REGISTERED NUMBER

237995

VOL.

3689

FOL.

33

Recorder of Titles



Lot 7 of this plan consists of all the land comprised in the above-mentioned cancelled folio of the Register.

Whole of Lot 7 Sec 3 Gtd.
to B. Stacey
Meas. in Metres

TWN. LULWORTH

STREET

