



ABN 68 300 116 092

PLANNING APPLICATION FORM

Section 57 & 58

OFFICE USE ONLY

Application Number: DA 2024 / 47		Date: 08.06.2024
PID: 6434061	Zone: General Residential	Permitted or Discretionary

DEVELOPMENT APPLICATION DETAILS

Applicant Name:	ALEX FRIEND		
Application Location/Address:	30 ADAMS STREET		
Title Reference:	60916/ 19		
Existing Development/Use: (describe the way the land is used now)	RESIDENTIAL		
Development Type:	New dwelling <input checked="" type="checkbox"/> Outbuilding <input type="checkbox"/> Addition/extension <input type="checkbox"/> Fencing <input type="checkbox"/> Demolition <input type="checkbox"/> Signage <input type="checkbox"/> Subdivision <input type="checkbox"/> Change of use <input type="checkbox"/> Other <input type="checkbox"/>		
Description/Use:	ANCILLARY DWELLING		
New floor area:	129.9 m ²	Total floor area:	285.4 m ² New building height: 4.85 m
Water Supply:	TasWater <input checked="" type="checkbox"/> Tank <input checked="" type="checkbox"/>	Wastewater:	TasWater <input checked="" type="checkbox"/> On-Site Wastewater System <input type="checkbox"/>
Driveway/Vehicle Crossover:	Existing <input checked="" type="checkbox"/> Proposed <input type="checkbox"/> Alteration Required <input type="checkbox"/> <i>Contact Council's engineering department for details on crossover construction</i>		
Does the application include Crown Land or access via a Crown Access License?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	If 'yes', please provide Crown consent to lodge the planning application in accordance with section 52 (1B) of the Land Use Planning and Approvals Act 1993.	

SUBDIVISION

N/A

Existing Lots:	19	Number of total lots proposed:	—
----------------	----	--------------------------------	---

COMMERCIAL/INDUSTRIAL

N/A

Existing business and/or proposed business description:			
Hours of Operation:	Weekdays (Mon – Fri)		To
	Saturday		To
	Sunday		To
Signage:	Yes <input type="checkbox"/> No <input type="checkbox"/>	If 'yes', please provide details with application.	
Existing no. of employees:		No. of employees (proposed):	
Parking spaces (existing)		Parking spaces (proposed)	

Proposed Ancillary Dwelling

Documentation for Town Planning Permit

Architectural - A3 Drawings Schedule

- TP01 - Cover Page, Satellite Image & Photo
- TP02 - Existing & Proposed Site Plan
- TP03 - Existing & Proposed Site Elevations
- TP04 - Proposed Floor Plan
- TP05 - Proposed Roof Plan
- TP06 - Proposed Sections & Elevations

Areas

Total site:	669m ²
Existing dwelling:	94.1m ²
Existing pergola:	61.4m ²
Existing shed:	65.4m ² (to be demolished)
Existing site coverage:	33.0%

Proposed dwelling:	60.0m ²
Proposed garage:	39.7m ²
Proposed alfresco/verandah:	30.2m ²
Proposed site coverage:	52.4%

Note: Site coverage calculated, is roofed area not dwelling footprints

A FRIEND DESIGNS - Alex Friend BA, Env. Des. B, Arch Hons Licensed Building Services Provider No. 110598562 Mob: 0412 844 920 Email: friendalexander0@gmail.com



Existing Site (Google Satellite Image)

Scale 1:500 @ A3



Existing Site Front Elevation (Google Photo)

Not to scale

Site Information

Land Title Reference No:	Volume No.	60916 (Property ID 6434061)
	Plan of Survey	P.60916(d)
	Revision No:	1
	Lot No:	19
	Area:	Approx 669m ²
Wind Classification:	TBA	As to AS 4055 - 2021
Soil Classification:	TBA	Site Classification to AS 2870-2011
Subsidiary Classification:	TBA	
Climate Zone:	7	
BAL Rating:	N/A	
Alpine Area:	N/A	BCA Figure 3.7.5.2
Corrosion Environment:	TBA	

Project: Job No. 2309

Ancillary Dwelling

Client:

Diana Boulos

Address:

**30 Adams Street
George Town TAS 7253**

Drawing Title:

**Cover Page
Site Satellite Image
& Front Elevation**

Drawn By: A.R.F. Print Date: 25/06/24
Scale: @ A3 Drawing No:

As Noted TP01

For Town Planning

This Drawing Contains Inherent Design Based Intellectual Property & is Protected by Copyright © All rights reserved

Page Specific Notes:

Detail Survey

- For further land survey information refer Land Survey. Produced by 6ty° Detail Survey - Drawing No. 23.331 Vol.1 (available from the designer or owner by request)

Legend:

- GL = Ground Level
- SL = Spot Level

Symbols:

These symbols may differ from industry standard symbols

- ⊗ = Spot Level Indicator
- - - = Existing Sewer
- - - = Existing Water

Clarification of parking spaces

- The parking space in front of the new dwelling is over 11m long and will fit two cars in tandem. It was originally required by the client as parking for the rear dwelling
- The garage has been designed to be either a garage for the rear unit or the front unit. Originally it was required by the client for the front house. It was to replace the garage being demolished.

Note: Shed/Garage to be demolished is being replaced with garage attached to new dwelling

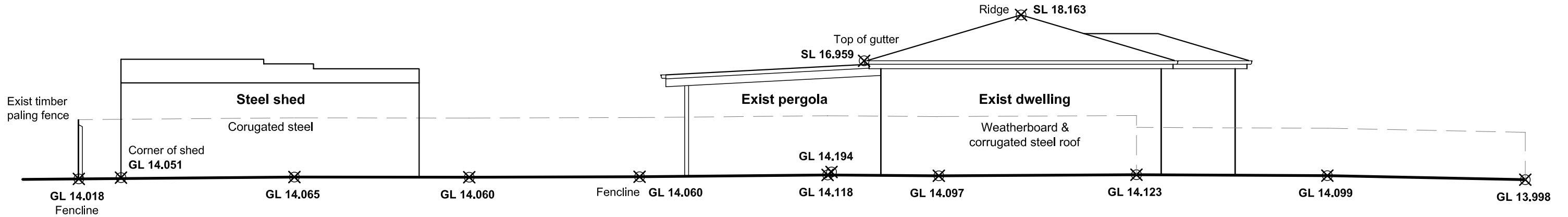
Existing Site Plan
Scale 1:200 @ A3

Proposed Site Plan
Scale 1:200 @ A3

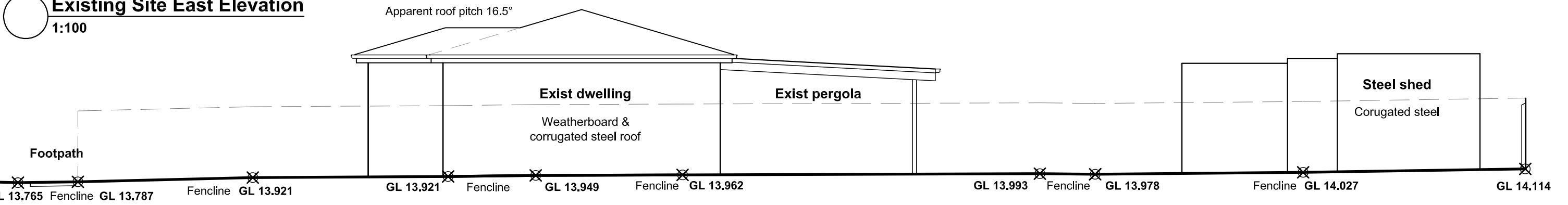
Project: Job No. 2309
Ancillary Dwelling
Client:
Diana Boulos
Address:
30 Adams Street
George Town TAS 7253

Drawing Title:
Existing & Proposed Site Plans
Drawn By: A.R.F. Print Date: 25/06/24
Scale: @ A3 Drawing No:
1:200 TP02
For Town Planning

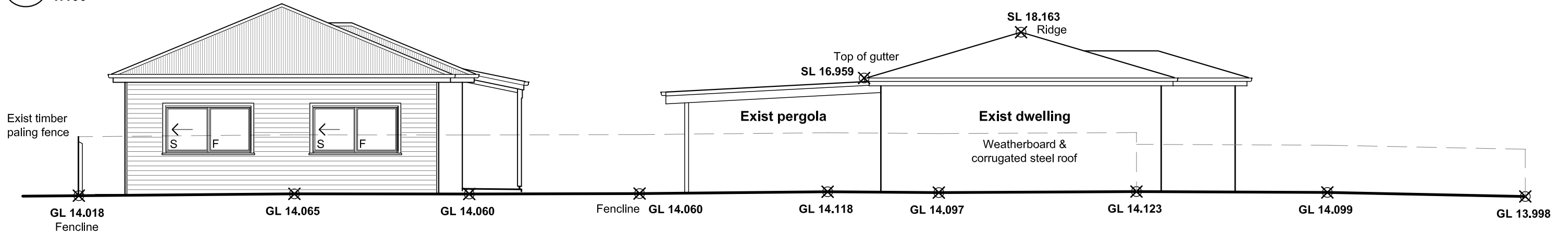
This Drawing Contains Inherent Design Based Intellectual Property & is Protected by Copyright © All rights reserved



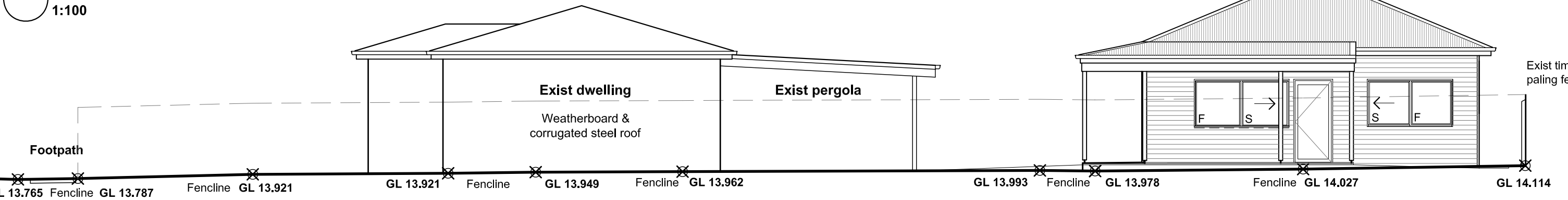
Existing Site East Elevation
1:100



Existing Site West Elevation
1:100



Proposed Site East Elevation
1:100



Proposed Site West Elevation
1:100

Symbols:
These symbols may differ from industry standard symbols
⊗ = Spot Level Indicator

Legend:
GL = Ground Level
SL = Spot Level

Project: Job No. 2309
Ancillary Dwelling
Client:
Diana Boulos
Address:
**30 Adams Street
George Town TAS 7253**

Drawing Title:
Existing & Proposed Site Elevations
Drawn By: A.R.F. Print Date: 25/06/24
Scale: @ A3 Drawing No:

1:100 **TP03**

This Drawing Contains Inherent Design Based Intellectual Property & is Protected by Copyright © All rights reserved

For Town Planning

Page Specific Notes:

Slab

- Conc slab on ground

Walls

- 90mm timber stud frame with JamesHardi Linea Weatherboard external cladding & plaster board internal linings

Water tank

- Orion 1000 Litre water tank. 1800mm length X 500mm wide X 1750mm Height. Product code SDT1000

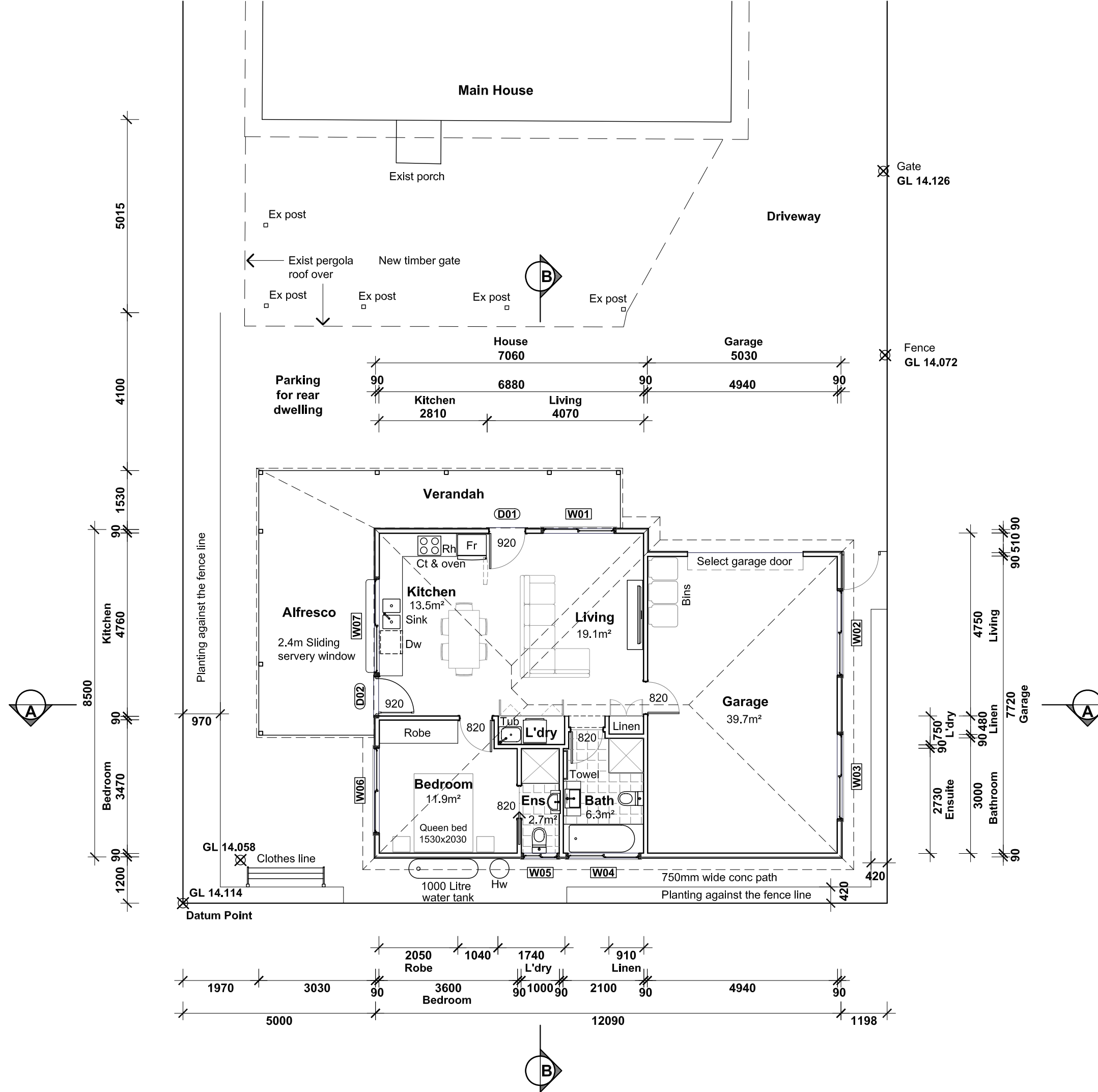
Legend:

- Ex = Existing
- Eps = Expanded polystyrene
- GL = Ground Level
- Pb = Plaster board
- SL = Spot Level
- Tm = Timber

Symbols:

These symbols may differ from industry standard symbols

- ⊗ = Spot Level Indicator
- ▣ = Tiles



Project: Job No. 2309

Ancillary Dwelling

Client:

Diana Boulos

Address:

**30 Adams Street
George Town TAS 7253**

Drawing Title:

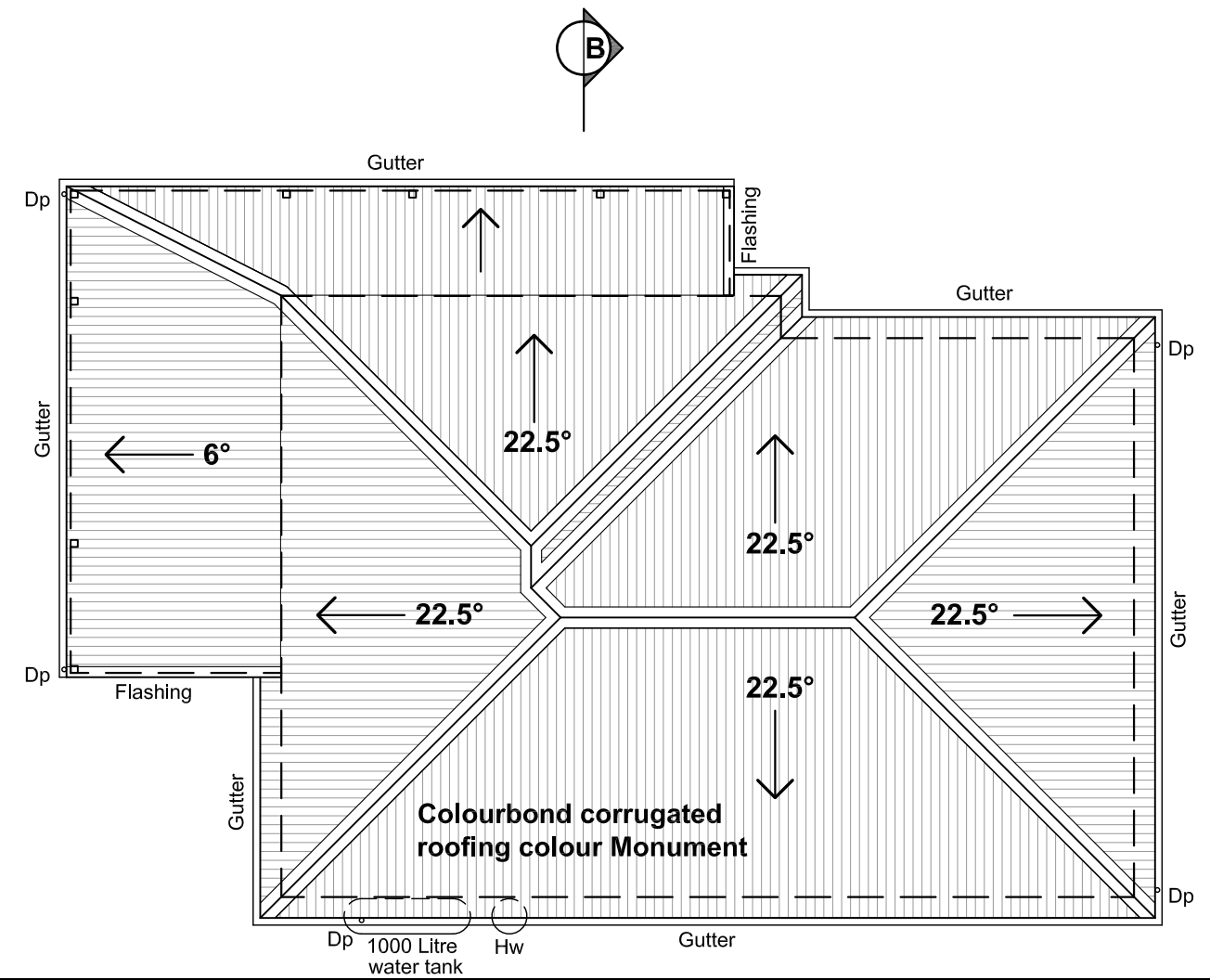
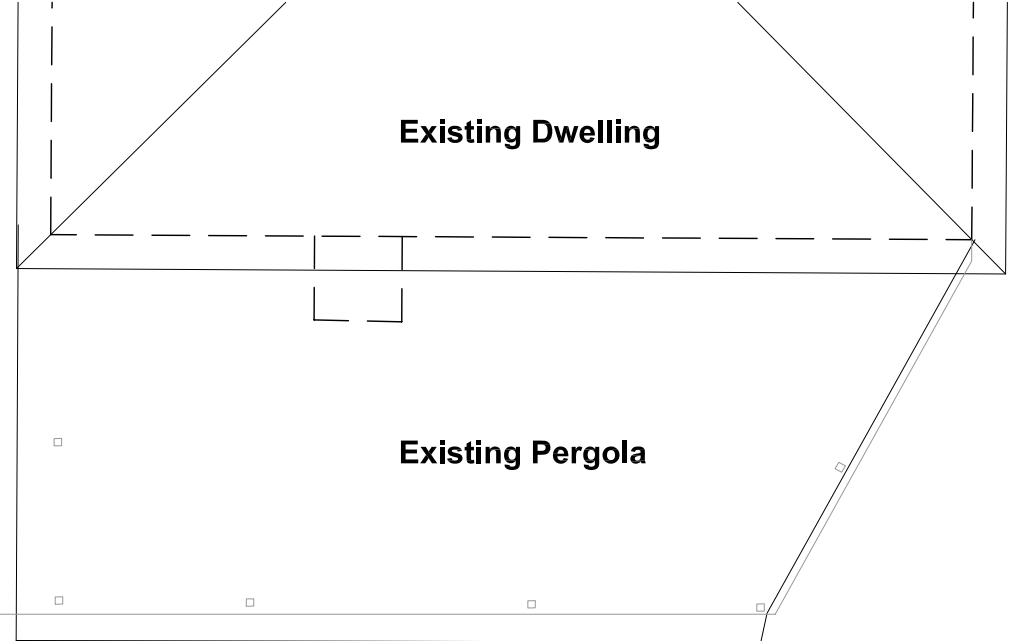
**Proposed
Floor Plan**

Drawn By: A.R.F. Print Date: 25/06/24
Scale: @ A3 Drawing No:

1:100 TP04

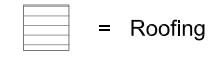
For Town Planning

This Drawing Contains Inherent Design Based Intellectual Property & is Protected by Copyright © All rights reserved



Symbols:

These symbols may differ from industry standard symbols



Page Specific Notes:

Below references are to those Parts & Figures of the ABCB Housing Provisions, unless otherwise stated

Refer Also: A17 General Notes & the Construction Standards for BAL - 12.5 (low risk)

Roofing

- Colourbond corrugated steel sheet roofing. Colour Monument.
- Refer Part 7.2 Sheet roofing, which includes minimum pitches, maximum spans, installation & fixings,
- Minimum overhang 50mm (Part 7.2.8)
- Roofing is to be installed over 20x40 vented battens fixed over vapour permeable membrane on top of 70x35 battens fixed to manufactured engineered trusses.

Vapour permeable membrane

- Install membrane tight under vented battens ensuring minimum 25mm air gap is achieved at all times between membrane & insulation underneath

Note: Part TAS H4D9 of the NCC Volume 2, Condensation management states: Compliance with Part 10.8 of the ABCB Housing Provisions Satisfies Performance Requirements H4P7 for condensation management

Cappings & flashings (for steel roofs)

- Refer Part 7.2.7 which includes: Roof flashings & cappings, fixing, joints, wall & stepped flashings, anti-capillary breaks & roof penetration collar & apron flashings. Refer also 7.2.7 Figures a to f

Eaves gutter

- Quad gutter, Colourbond, colour Monument
- Refer Part 7.4 Gutters and downpipes generally & including 7.4.3 Selection of gutters, 7.4.4 Installation of gutters
- Space the gutter off fascia by 10mm to allow for continuous overflow Part 7.4.6

Valley gutters

- Refer Part 7.4.4(4) Valley gutters. Refer table 7.4.4c & figure 7.4.4 Valley gutter profile

Fascias

- Select colourbond fascias. Colour Monument
- Roofing to overhang fascia by 50mm. Refer Part 7.2.8

Downpipes

- Select colourbond downpipes. Colour Monument

Eaves

- Eaves 300mm wide
- Eaves / soffit lining - FC sheet proprietary system with PVC jointing strips

Roof vent

- Install 1 off passive roof vent to remove condensation from roof space

Roof penetration

- Ensure roof penetrations do not compromise Vapour Permeable Membrane and are flashed appropriately over roofing. Refer Cappings & flashings notation

Rainwater Collection Tank

- Select 2,000 Litre tank to be installed with pump
- Refer NCC Volume 3 Part B7 Rainwater storage
- Install in accordance with manufacturers specification

Project: Job No. 2309

Ancillary Dwelling

Client:
Diana Boulos

Address:
**30 Adams Street
George Town TAS 7253**

Drawing Title:

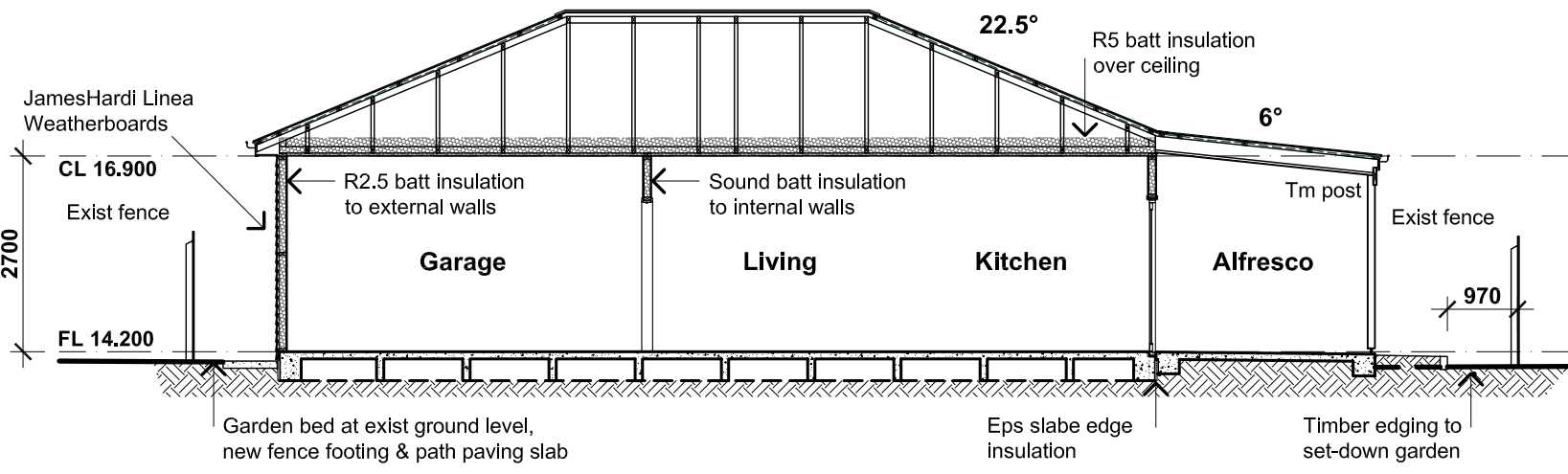
**Proposed
Roof Plan**

Drawn By: A.R.F. Print Date: 25/06/24
Scale: @ A3 Drawing No:

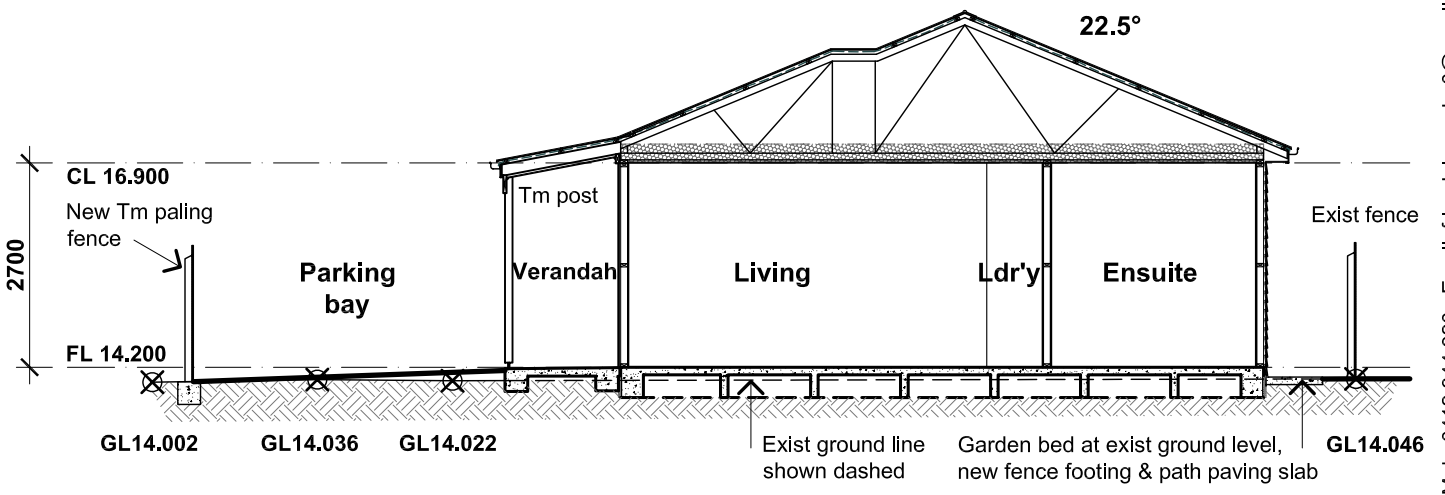
1:100 TP05

For Town Planning

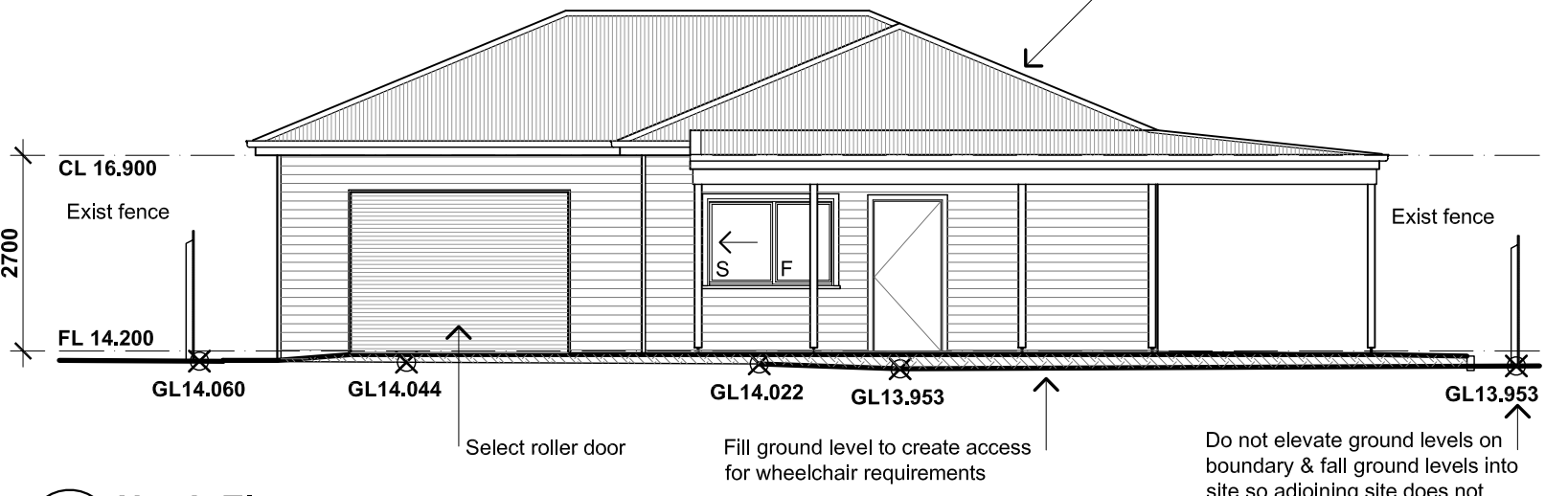
This Drawing Contains Inherent Design Based Intellectual Property & is Protected by Copyright © All rights reserved



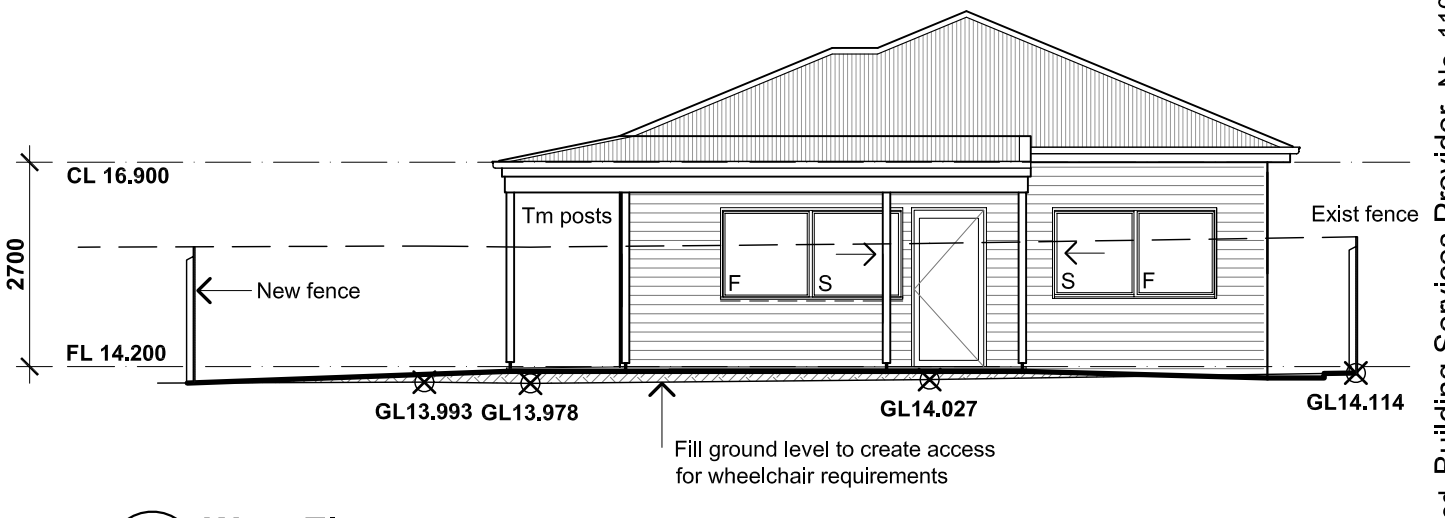
Section A-A
1:100



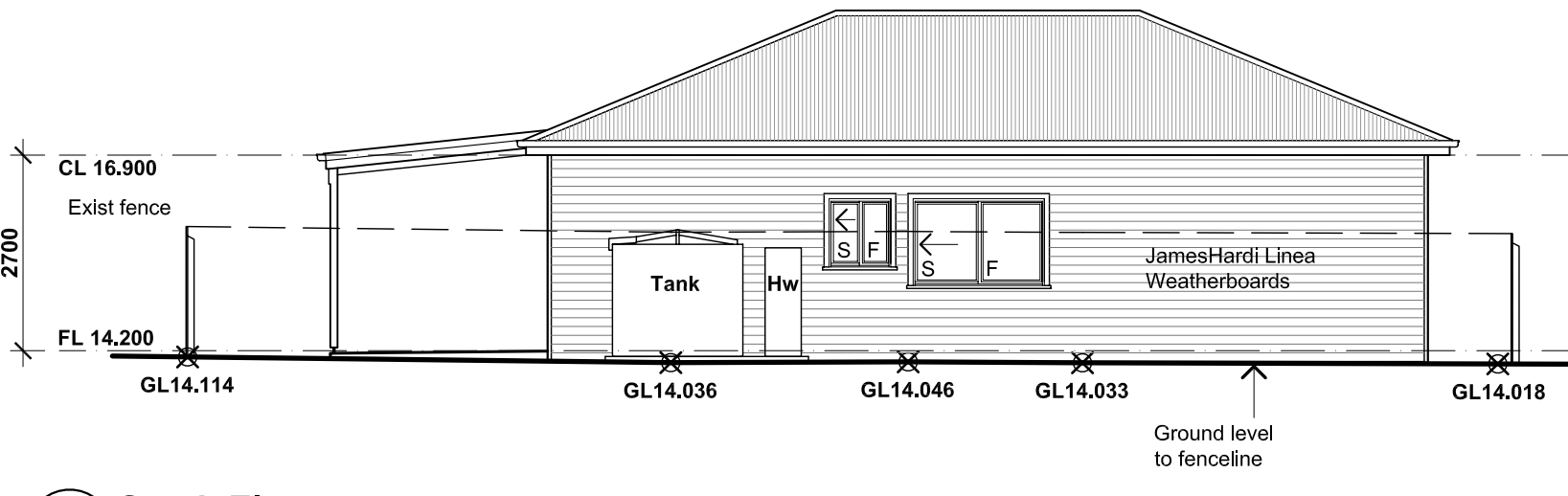
Section B-B
1:100



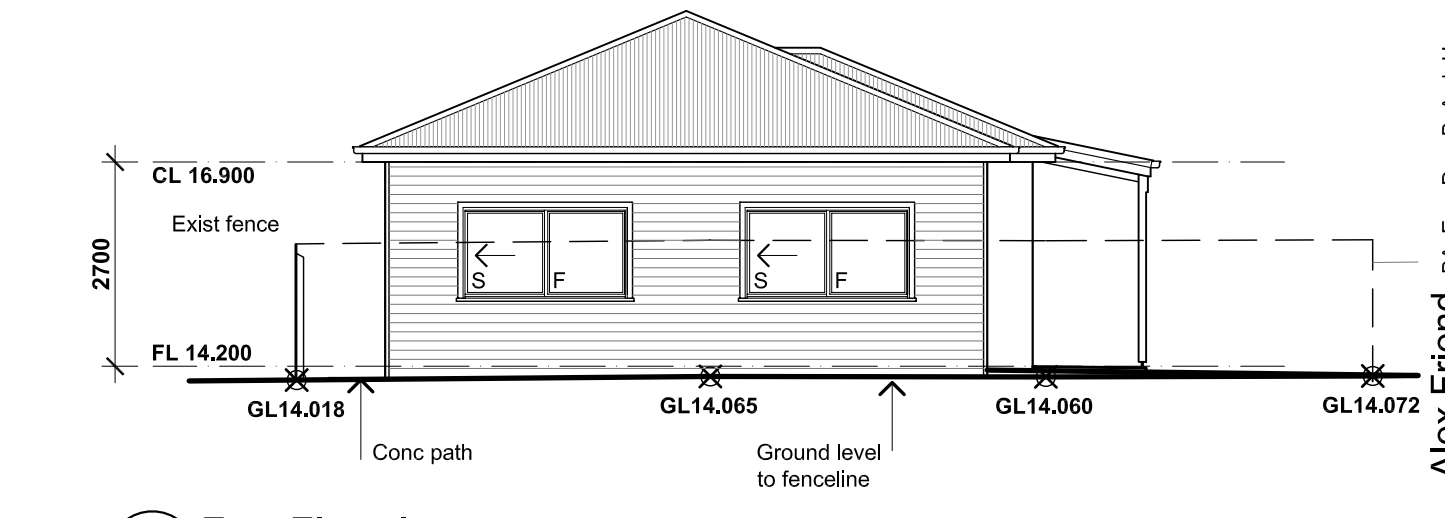
North Elevation
1:100



West Elevation
1:100



South Elevation
1:100



East Elevation
1:100

Page Specific Notes:

- Slab**
 - Conc slab on ground
- Walls**
 - 90mm timber stud frame with JamesHardi Linea Weatherboard external cladding & plaster board internal linings
- Roofing**
 - Corrugated colourbond roofing, Colour Monument

Water tank

- Orion 1000 Litre water tank, 1800mm length X 500mm wide X 1750mm Height. Product code SDT1000

Project: Job No. 2309
Ancillary Dwelling
 Client:
Diana Boulos
 Address:
30 Adams Street
George Town TAS 7253

Drawing Title:
Proposed Sections & Elevations
 Drawn By: A.R.F. Print Date: 25/06/24
 Scale: @ A3 Drawing No:

1:100 **TP06**

This Drawing Contains Inherent Design Based Intellectual Property & is Protected by Copyright © All rights reserved

For Town Planning

SEARCH OF TORRENS TITLE

VOLUME 60916	FOLIO 19
EDITION 8	DATE OF ISSUE 09-Nov-2023

SEARCH DATE : 11-Jun-2024

SEARCH TIME : 01.28 PM

DESCRIPTION OF LAND

Town of GEORGE TOWN
 Lot 19 on Plan 60916 (formerly being P1826(D))
 Derivation : Part of 6acs.1rd.2ps. (Sec.M.m.) and of 6acs.0rds.
 3lps. (Sec.K.k.) and part of Lots 34625 and 34626 Gtd. to The
 Director of Housing
 Prior CT 2747/11

SCHEDULE 1

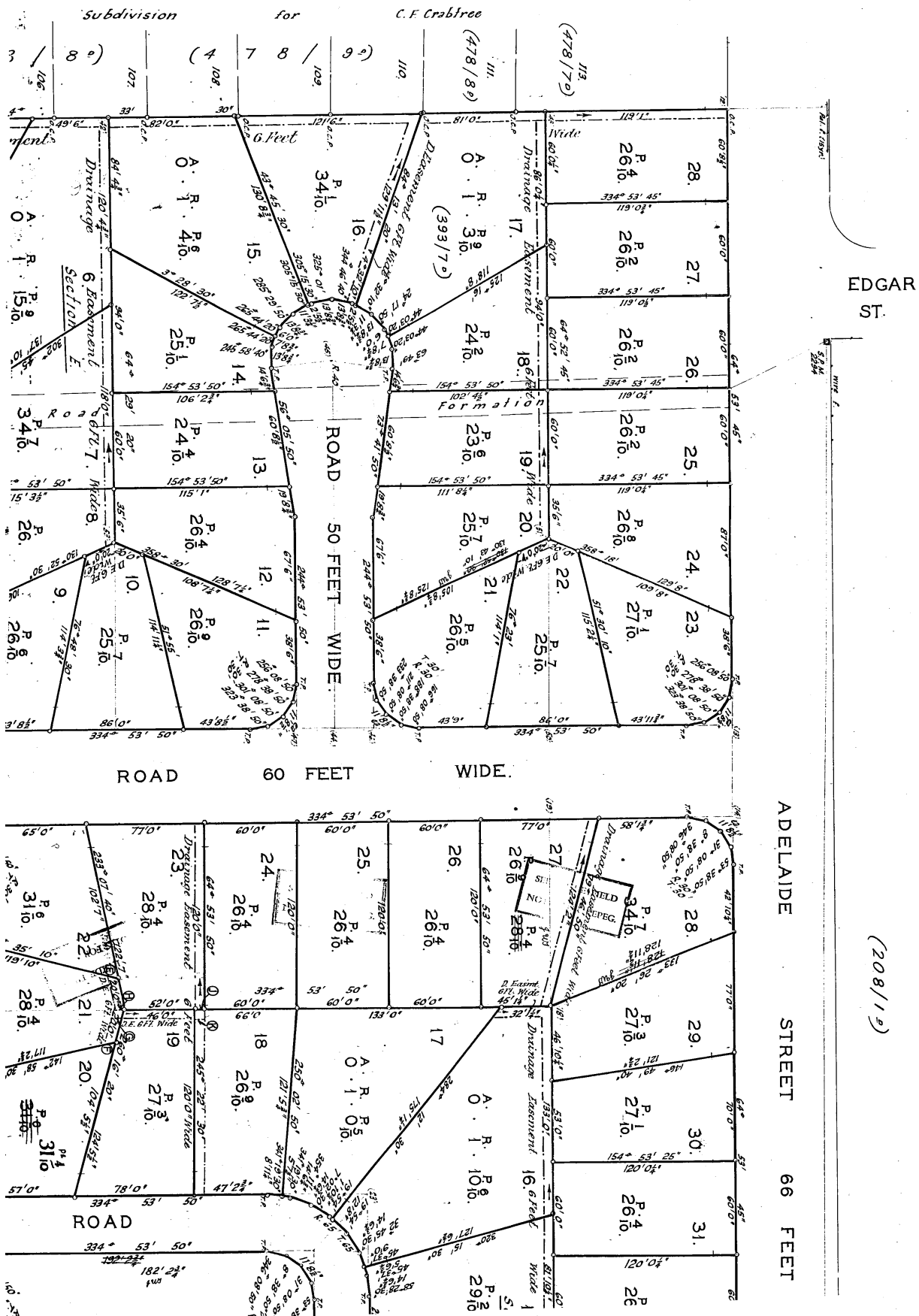
M188500 TRANSFER to TANIA BOULOS Registered 21-Jul-2008 at
 12.01 PM

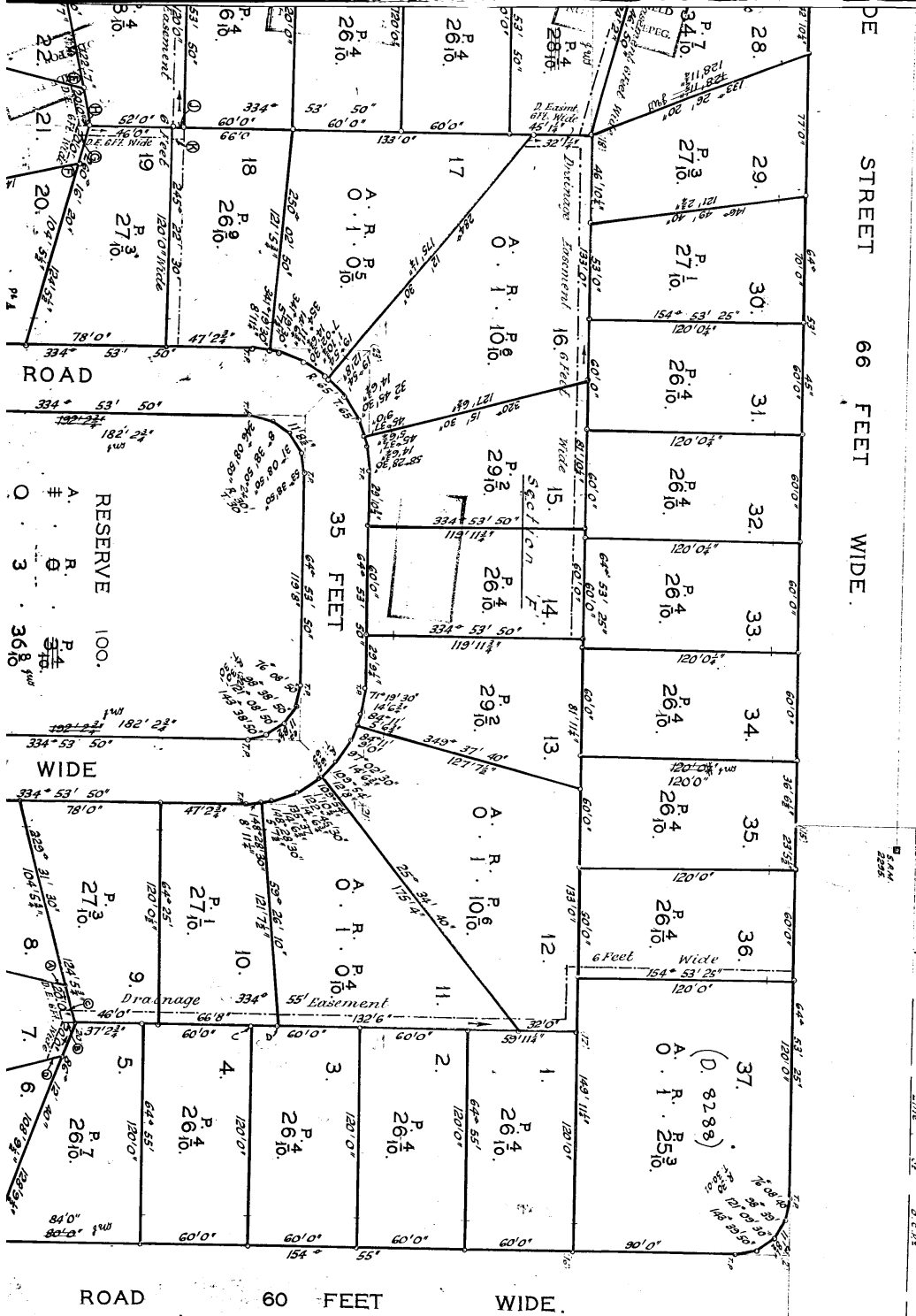
SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 A340041 BENEFITTING EASEMENT: Right of Drainage set forth in
 Order
 E366684 MORTGAGE to Westpac Banking Corporation Registered
 09-Nov-2023 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations





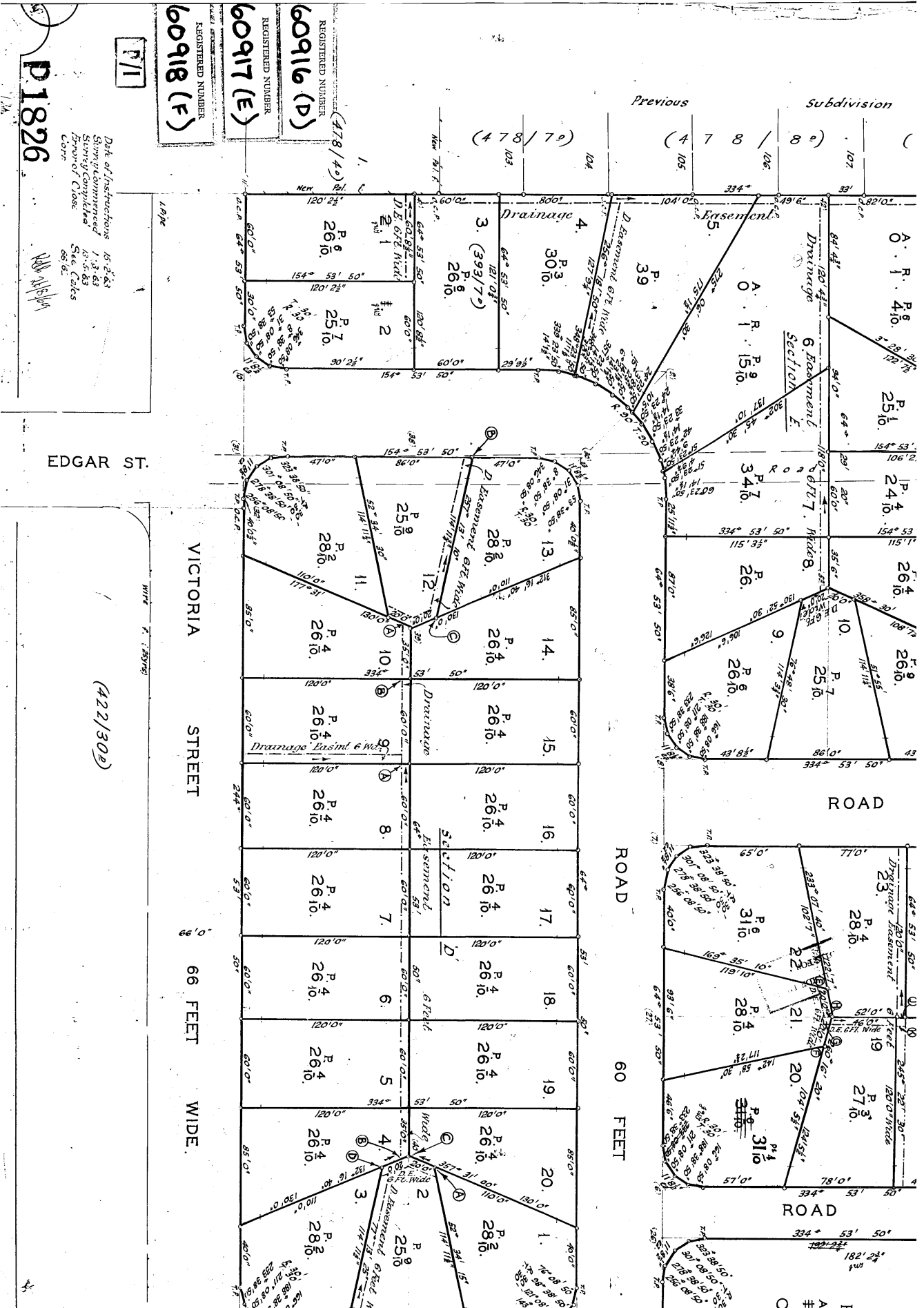
(208/12)

(201/249)

P1826

P/M

11/55/01
4523



P/11

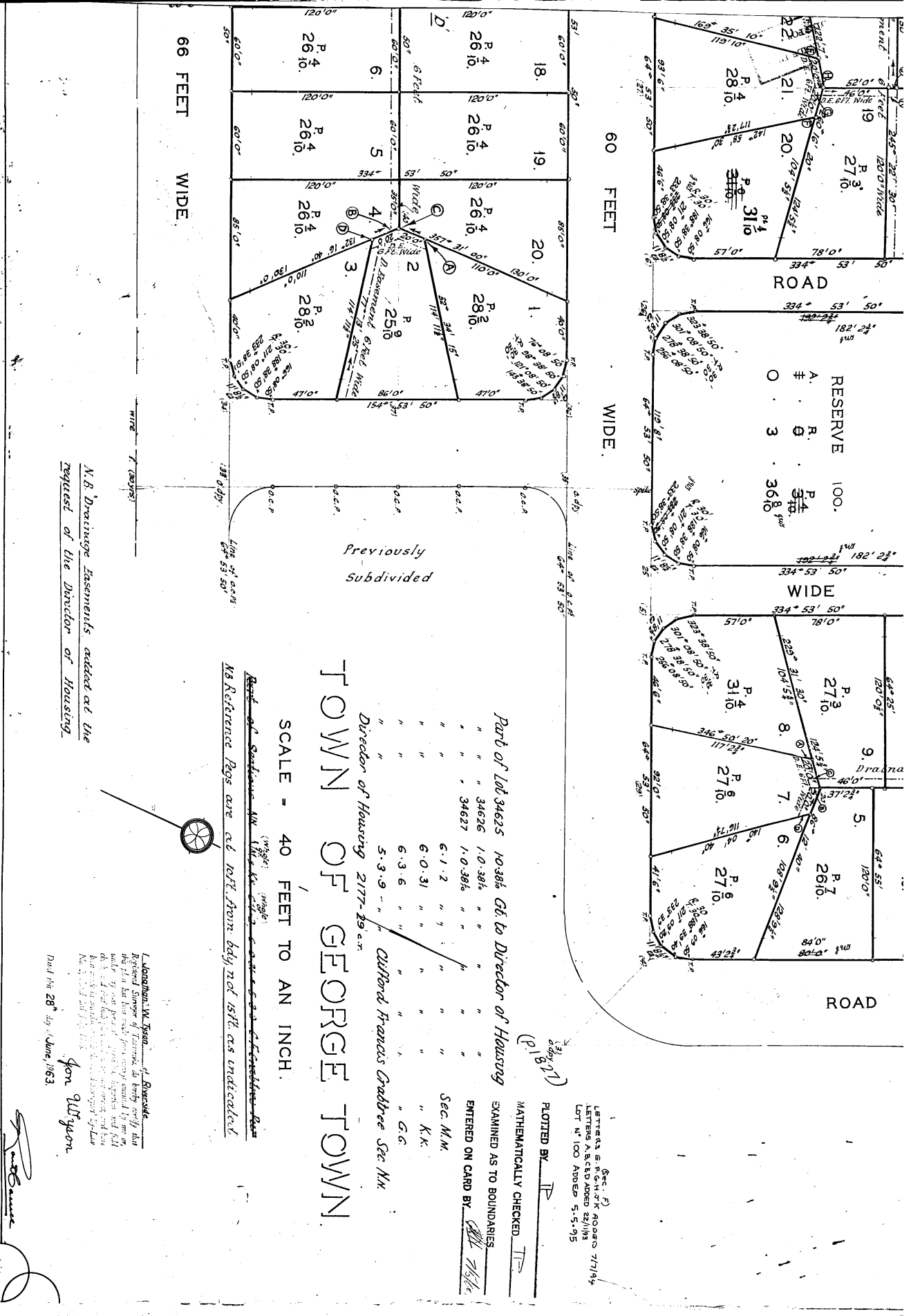
P18226

Date of Instructions 15.2.83
 Survey Commenced 1.3.83
 Survey Completed 15.3.83
 Approved C. 1088
 Scale 1:5000
 Cont. 88.62

EDGAR ST.

VICTORIA STREET 66 FEET WIDE

(422/302)



N.B. Drainage Easements added at the request of the Director of Housing.

Part of Lot 34625 10386 Gt. to Director of Housing

Lot No.	Area	Other
1	34626	1-0-386
2	34627	1-0-386
3	6-1-2	"
4	6-0-31	"
5	6-3-6	"
6	5-3-9	"

Director of Housing 2177-29

Clifford Francis Crabtree Sec. M.M.

SCALE - 40 FEET TO AN INCH.

L. Macdonald W. Tyson of Riverside
 Registered Surveyor of Tasmania, do hereby certify that
 this plan has been made from survey conducted by me on
 the 21st day of June 1963 and is correct in accordance with
 the provisions of the Land Titles Act 1980 and the
 Regulations thereunder.
 Dated this 28th day of June, 1963.

for W. Tyson